

**BRIDGEND COUNTY BOROUGH COUNCIL**

**REPORT TO DEVELOPMENT CONTROL COMMITTEE**

**21 DECEMBER 2017**

**INFORMATION REPORT OF THE CORPORATE DIRECTOR - COMMUNITIES**

**HOUSEHOLDER ALTERATIONS AND EXTENSIONS SUPPLEMENTARY PLANNING GUIDANCE**

**1. Purpose of Report**

- 1.1 To consider the 'Householder Alterations & Extensions Supplementary Planning Guidance' document and approve its content for the purposes of public consultation.

**2. Connection to Corporate Improvement Objectives/Other Corporate Priorities**

- 2.1 The Bridgend Local Development Plan (LDP) is one of the high level strategies which must be prepared by the Council. The LDP sets out in land use terms those priorities in the Corporate Plan that relate to the development and use of land provided they conform with national and international policy.
- 2.2 The approval of this Supplementary Planning Guidance (SPG) for public consultation will assist in the implementation of policies within the adopted Bridgend Local Development Plan.

**3. Background**

*What is Supplementary Planning Guidance?*

- 3.1 In a general context, the purpose of Supplementary Planning Guidance (SPG) is to expand on the policies contained in the adopted Local Development Plan (LDP) providing further guidance on specific topic areas which aid stakeholders in translating the policies into sustainable development proposals in accordance with national, regional and local land use objectives.
- 3.2 Whilst guidance contained in SPG is consistent with the relevant LDP policies, it does not possess full statutory status as conveyed by the provisions of the Town and Country Planning Act. However, its status will be that of a 'material consideration' in the determination of planning applications and appeals within the relevant topic/land-use area and will be afforded 'substantial weight' in future planning decisions of the Local Planning Authority, the Welsh Government and Planning Inspectorate in Wales, as an adopted document.

*The importance of good design*

- 3.3 It is an objective of national planning policy (as set out in Planning Policy Wales and further expanded upon in Technical Advice Note 12 'Design') and the adopted LDP to ensure that new development, including alterations and extensions to existing properties, contribute to creating high quality, attractive, sustainable places which enhance the community in which they are located.

- 3.4 LDP Policy SP2 'Design and Sustainable Place Making' identifies 15 sustainable place making criteria which will be applied to all development proposals across the County Borough. Policy SP2 represents the starting point for the assessment of all planning applications which are received by the Local Planning Authority.

#### **4. Current Situation**

- 4.1 Members of the Development Control Committee may be aware of SPG02: 'Householder Development' that was published back in 2008 with the intended purpose to provide guidance on extensions and alterations to existing dwellings. This SPG has been re-drafted to reflect the latest national and local planning policy and to make the document more user-friendly for Councillors, members of the public and planning professionals. The fundamental purpose of this SPG remains the same and supplements LDP Policy SP2 'Design and Sustainable Place Making'.
- 4.2 The draft SPG expands upon the existing land-use planning policy framework contained within the LDP, providing greater clarity and advice for Councillors, members of the public and planning professionals when submitting and determining planning applications which relate to householder alterations and extensions in the County Borough.

#### **5. Next Steps**

- 5.1 The draft SPG has been the subject of internal consultation and agreement. Approval is now being sought to formally consult with other interested parties, outside bodies and the public on the content of the draft SPG.

#### **6. Effect upon Policy Framework & Procedure Rules**

- 6.1 The draft Supplementary Planning Guidance will assist the Local Planning Authority in the determination of planning applications and achieve high quality development.

#### **7. Equality Impact Assessment**

- 7.1 There are no direct implications associated with this report. However, any future review of the policies and proposals contained within the LDP will require an equalities impact assessment to be carried out.

#### **8. Financial Implications**

- 8.1 Officer time and cost associated with the preparation of the SPG will be met from the Development Planning budget and carried out by existing staff.

#### **9. Recommendations**

- 9.1 That the Development Control Committee:
- a) approves the draft Householder Alterations and Extensions Supplementary Planning Guidance (Appendix 1) as the basis for public consultation;
  - b) delegate authority to the Group Manager of Development to make any necessary factual and/or cartographical amendments to the document that may be required prior to public consultation; and

- c) authorise the Group Manager of Development to make appropriate arrangements for public consultation and produce a further report on the outcome of the consultation process which will be reported back to Development Control Committee.

**Mark Shephard**  
**Corporate Director Communities**  
**21 December 2017**

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**Background papers**

None.

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# Householder Alterations & Extensions

Supplementary Planning Guidance

A Design Guide for Householder Development

## APPENDIX 1



**SPG02**

Development Planning - Bridgend County Borough Council



# Householder Alterations & Extensions

## Supplementary Planning Guidance

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## 1 INTRODUCTION

### 1.1 Supplementary Planning Guidance

1.1.1 This document and other non-statutory guidance can be viewed at:

<http://www.bridgend.gov.uk/services/planning/supplementary-planning-guidance-spg.aspx>

1.1.2 This guidance interprets policies in the Bridgend Local Development Plan (LDP) adopted in 2013, which seeks to make a positive contribution to the Borough.

### 1.2 Purpose of this document

1.2.1 This document sets out design guidance for individuals who are considering the alteration or extension of their dwelling. National Guidance in Planning Policy Wales requires all new development, including alterations and extensions to existing dwellings, to be well designed.

1.2.2 Well-designed alterations or extensions can assist the householder in meeting their own needs, whilst enhancing the value of a dwelling and contributing to the improvement of the local area.

1.1.3 Poorly-designed alterations or extensions can impair the appearance of a dwelling and have an adverse impact upon the surrounding streetscape/landscape and neighbouring properties.

### 1.3 Status of this design guide

1.3.1 All development should comply with the Bridgend LDP and this Supplementary Planning Guidance will assist in achieving this. The Design Guide is a material consideration in the determination of planning applications. **This Design Guide applies to both existing householders and new build dwellings.**

### 1.4 What permissions do I need?

1.4.1 Some minor changes to your dwelling and small buildings in the garden may be allowed under legislation without the need of planning permission, this is known as "permitted development". However, additional permission or consent maybe required and this is outlined in Appendix 5.2. **Building Regulations Approval is separate to planning permission and may be also be required. To contact building control please email the following:-**

[buildingcontrol@bridgend.gov.uk](mailto:buildingcontrol@bridgend.gov.uk)

1.4.2 It is highly recommended that building work should not commence until a professional opinion on the need for planning consent has been given from the Local Planning Authority, otherwise you may need to put things right later at a considerable inconvenience and cost. If in doubt please call the Planning Department.

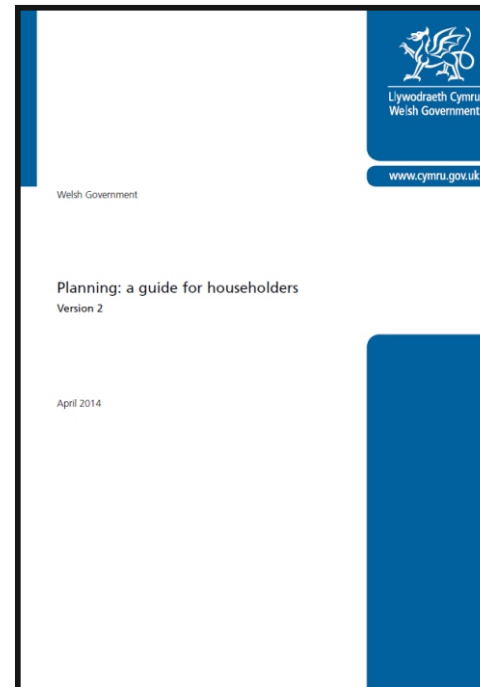
## 1.5 Permitted Development Rights

1.5.1 It is possible to make some improvements, alterations and extensions to your dwelling without needing planning permission. These are known as Permitted Development Rights and are allowed under the Town and Country Planning (General Permitted Development) Order 2014 (GDPO). There has been a series of amendments all of which can be viewed at the following link:

[https://www.planningportal.co.uk/wales\\_en/info/4/your\\_responsibilities/47/planning\\_permission/2](https://www.planningportal.co.uk/wales_en/info/4/your_responsibilities/47/planning_permission/2)

1.5.2 It is important to note that the Local Planning Authority may have removed some of your permitted development rights by issuing an Article 4 direction. This means you will need to submit a planning application for work which normally does not need one. Article 4 directions are most common in Conservation Areas. You will most probably know if your dwelling is affected by such a direction but you can find out from your Local Planning Authority via the pre-application service.

1.5.3 Welsh Government has produced a document "*Planning: A Guide for Householders*", which provides descriptive and illustrative advice on Permitted Development Rights. A further document "*Permitted Development For Householders*" provided by Welsh Government provides technical guidance on Permitted Development Rights for householders.



## 1.6 Pre-application advice

1.6.1 Bridgend County Borough Council is able to respond to pre-application enquiries upon request. However, individuals are expected to have completed some preliminary work and to have decided what kind of alteration or extension they wish to proceed with before making an enquiry.

1.6.2 The responses to enquiries are informal advice of individual Planning Officers and cannot guarantee that planning permission will be granted or otherwise as additional issues may arise during the application process. The ability of Planning Officers to provide useful informal advice is dependent upon the quantity and quality of information provided.

1.6.3 Site visits and meetings to discuss pre-application enquiries will be held at the discretion of Planning Officers. Written/drawn details of intended works should be submitted prior to any site visit or meeting.

1.6.4 The following link provides details about the costs of the pre-application service:  
<http://www.bridgend.gov.uk/media/358694/pre-application-advice-guidance-note-13th-june-2016.pdf>



## 1.7 Speak to your neighbours

- 1.7.1 Once a planning application has been made to the Local Planning Authority, it will be publicised to your neighbours via consultation and if located within a Conservation Area a site notice will also be displayed. If any neighbour or third party objects to the Local Planning Authority, it may delay your application and could lead to alterations to your proposal.
- 1.7.2 It is recommended that you speak with your neighbours prior to submitting a planning application. This could be useful in ensuring that any issues are dealt with at an early stage.
- 1.7.3 If your proposal affects a party wall, you will need to comply with the 1996 Party Wall Act. **Please note that issues that relate to boundary disputes and land ownership are not a planning matter.**

## 1.8 Follow the design guidance

- 1.8.1 It is important that you check with the Bridgend County Borough Council's Development Control Service as to which drawings and plans they require to accompany your application. If you submit any incomplete or inadequate drawings or plans this can slow down your planning application.
- 1.8.2 You should follow the guidance set out in this guide to help you achieve a good design. The Local Planning Authority will check if your plans follow this guidance but, if they do not, you may be refused planning permission. To seek advice on the typical requirements of a planning application, see Appendix 5.3.

## 1.9 Consider professional design advice

- 1.9.1 The plans for a proposal need to be clear, accurate and drawn to scale in metric measurements. It is not mandatory but applicants may seek a professional consultant to prepare plans for them.
- 1.9.2 A professional consultant can help you prepare plans that meet the Local Planning Authority's requirements. Professional Advice can be obtained from The Royal Society of Architects Wales (RSAW), The Royal Town Planning Institute (RTPI), The Royal Institute of Chartered Surveyors (RICS), The Chartered Institute of Architectural Technologists (CIAT) and The Association of Building Engineers (ABE). Contact details for professional organisations are provided in Appendix 5.5.
- 1.9.3 Alternatively, you may know someone who has carried out similar work previously and they may be able to recommend someone to assist you. It is worthwhile obtaining references from previous clients if possible.

## 2 POLICY CONTEXT

### 2.1 National Planning Policy

2.1.1 The Welsh Government has national guidance (Planning Policy Wales), which is relevant to householder alterations and extensions. Please see the following link:

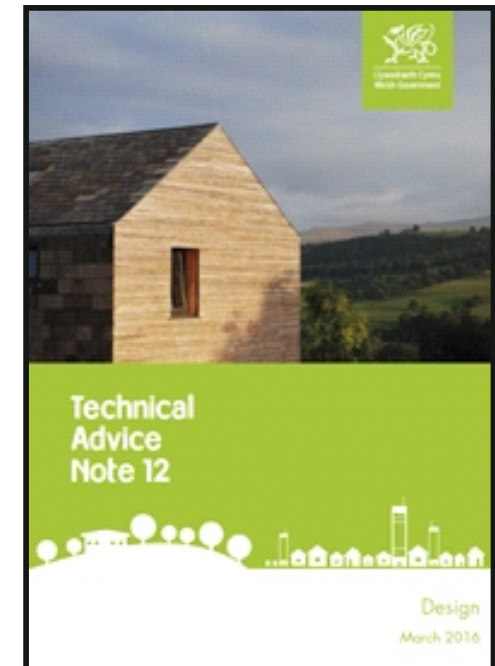
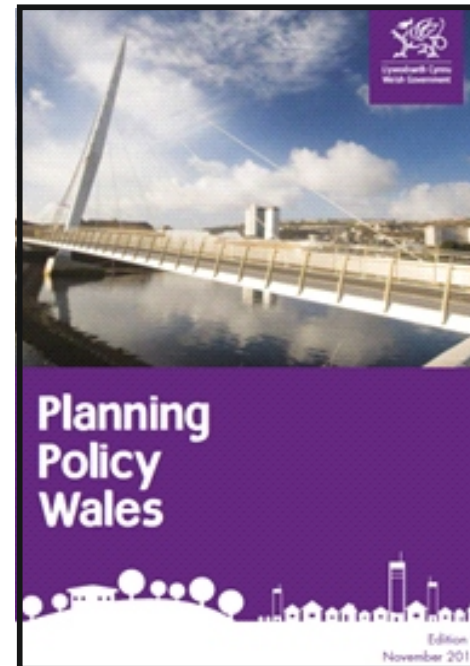
<http://gov.wales/docs/desh/publications/161117planningpolicy-walesedition-9-en.pdf>

*"Design is taken to mean the relationship between all elements of the natural and built environment. To create sustainable development, design must go beyond aesthetics and include the social, environmental and economic aspects of the development, including its construction, operation and management, and its relationship to its surroundings" (PPW, 2016, p.61).*

2.1.2 The Welsh Government takes this further by producing Technical Advice Note (TAN) 12: Design to provide greater guidance and support with regards to the design of proposed developments. Please see the following link:

<http://gov.wales/docs/desh/publications/160504 technical-advice-note-12en.pdf>

*"The design of our towns, villages, cities and the urban and rural landscape is important in articulating our nation and our culture. Design is important to our quality of life, and the quality of Wales's varied landscapes and townscapes - helping to sustain a positive image for Wales" (TAN 12: Design, 2009, p.6).*



## 2.2 Local Planning Policy

2.2.1 The Bridgend LDP sets out the policies that will be applied to the Bridgend County Borough, the following link directs you to the LDP:

[http://www.bridgend.gov.uk/media/174812/ldp\\_text.pdf](http://www.bridgend.gov.uk/media/174812/ldp_text.pdf).

2.2.2 The relevant policy for the majority of householder development in the Bridgend County Borough is Strategic Policy SP2 *Design and Sustainable Place Making*:-



### Strategic Policy SP2 *Design and Sustainable Place Making*

**All development should contribute to creating high quality, attractive, sustainable places which enhance the community in which they are located, whilst having full regard to the natural, historic and build environment by:**

- 1) Complying with all relevant national policy and guidance where appropriate;
- 2) Having a design of the highest quality possible, whilst respecting and enhancing local character and distinctiveness and landscape character;
- 3) Being of an appropriate scale, size and prominence;
- 4) Using land efficiently by:
  - i) Being of a density which maximises the development potential of the land whilst respecting that of the surrounding development; and
  - ii) Having a preference for development on previously developed land over greenfield land.
- 5) Providing for an appropriate mix of land uses;
- 6) Having good walking, cycling, public transport and road connections within and outside the site to ensure efficient access;
- 7) Minimising opportunities for crime to be generated or increased;
- 8) Avoiding or minimising noise, air, soil and water pollution;
- 9) Incorporating methods to ensure the site is free from contamination (including invasive species);
- 10) Safeguarding and enhancing biodiversity and green infrastructure;
- 11) Ensuring equality of access by all;
- 12) Ensuring that the viability and amenity of neighbouring uses and their users/occupiers will not be adversely affected;
- 13) Incorporating appropriate arrangements for the disposal of foul sewage, waste and water;
- 14) Make a positive contribution towards tackling the causes of, and adapting to the impacts of Climate Change; and
- 15) Appropriately contributing towards local, physical, social and community infrastructure which is affected by the development.

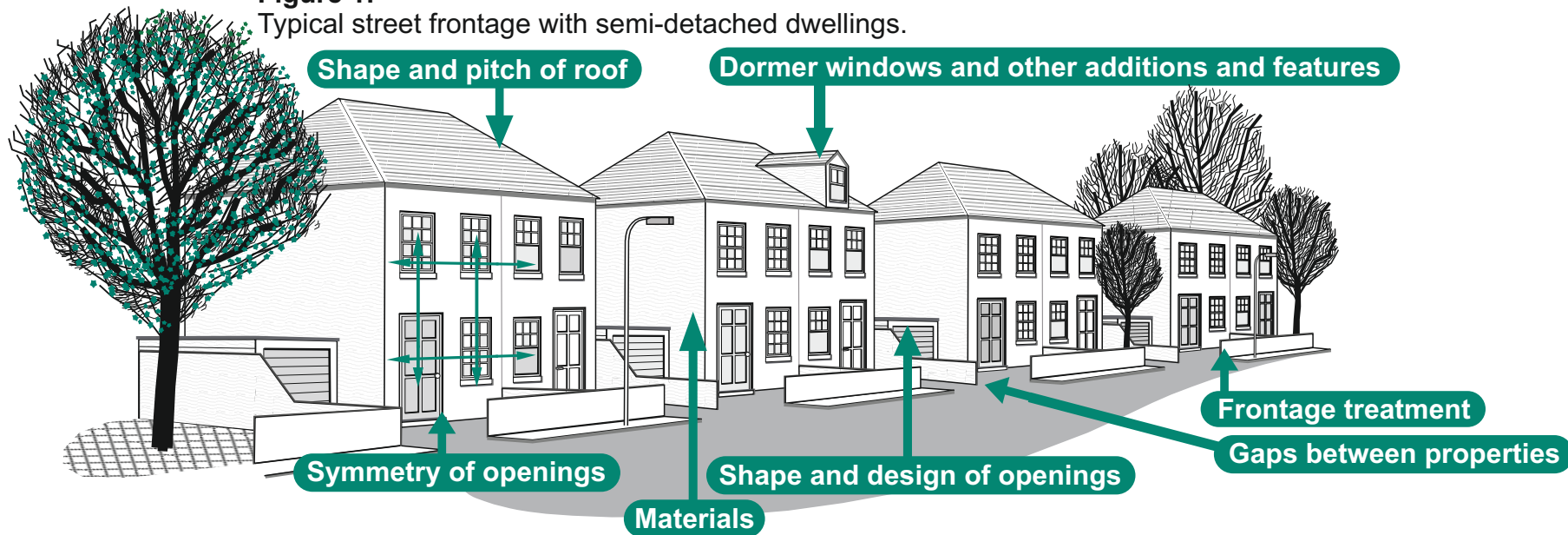
## 3 GUIDANCE NOTES

### 3.1 Understanding your house and area

- 3.1.1 The planning system aims to safeguard the existing qualities of buildings and streets whilst allowing householders to improve their dwellings.
- 3.1.2 Extensions and alterations should be designed to complement the character of your dwelling and street or area, see Figure 1.
- 3.1.3 For clarification, if your dwelling falls within a Conservation Area please see Appendix 5.4. For any uncertainties about Listed Buildings please contact the Local Planning Authority.

**Note 1:**  
The form, materials and details of extensions and alterations should match or harmonise with those of the existing dwelling.

**Figure 1:**  
Typical street frontage with semi-detached dwellings.

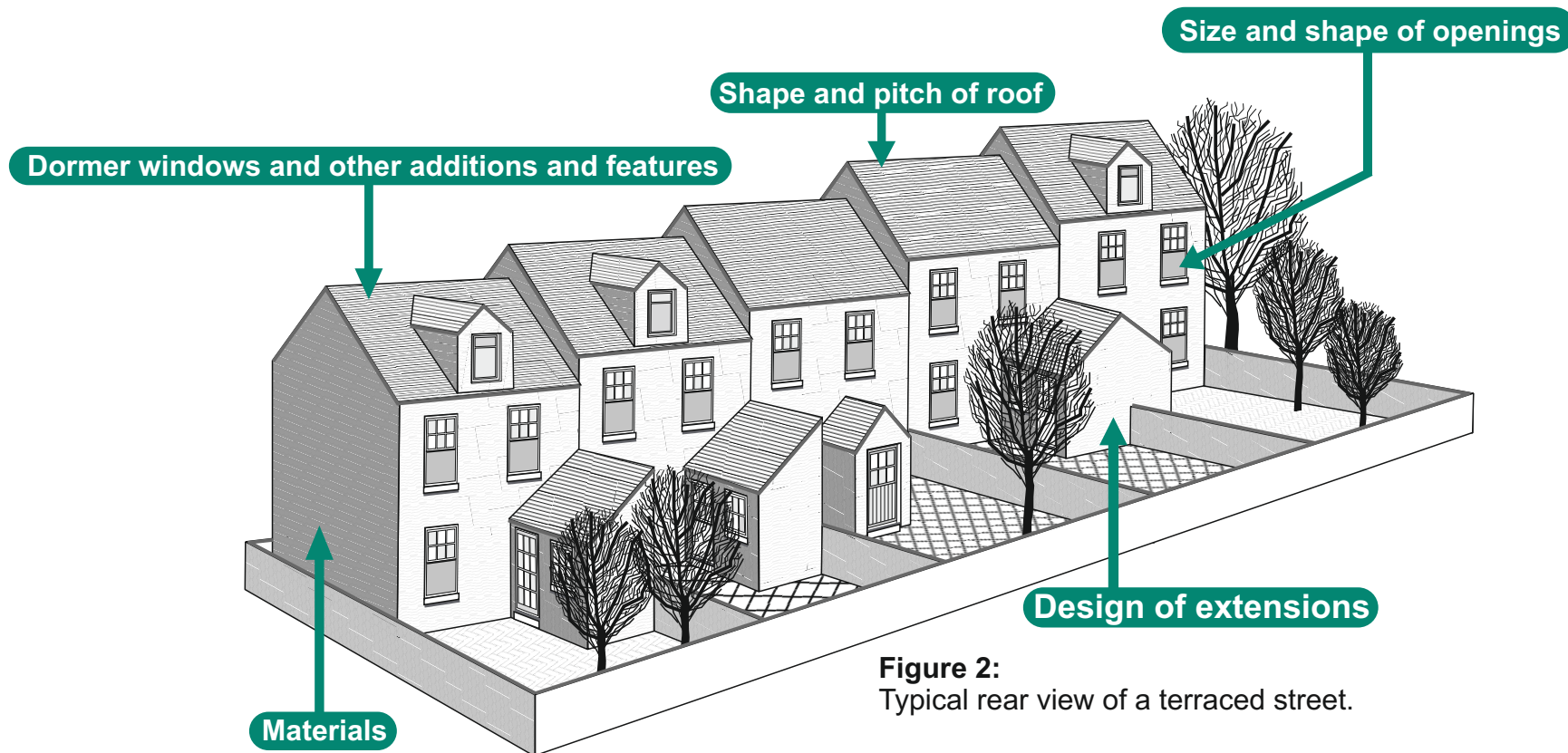


# Householder Alterations & Extensions SPG02

3.1.4 The Local Planning Authority also aims to safeguard residential and visual amenity. Residential amenity affects neighbours and the future occupants of the extended dwelling. Visual amenity includes the effects of the extension on the appearance of the dwelling and the neighbourhood.

3.1.5 You should consider how your proposals will fit in with the characteristics shown in Figure 2.

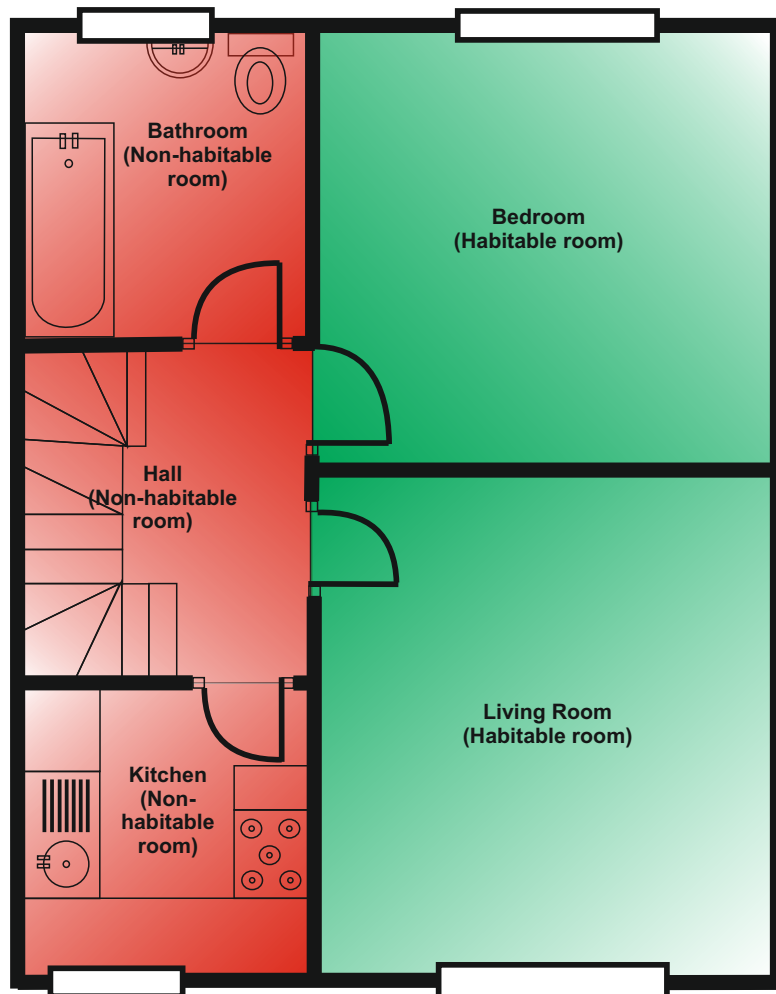
3.1.6 This Design Guide has been created in part as a response to unsatisfactory extensions that have been constructed in the past and to ensure a high quality of design in future proposals. These guidelines represent a material consideration in determining planning applications in relation to dwelling extensions in Bridgend County Borough.



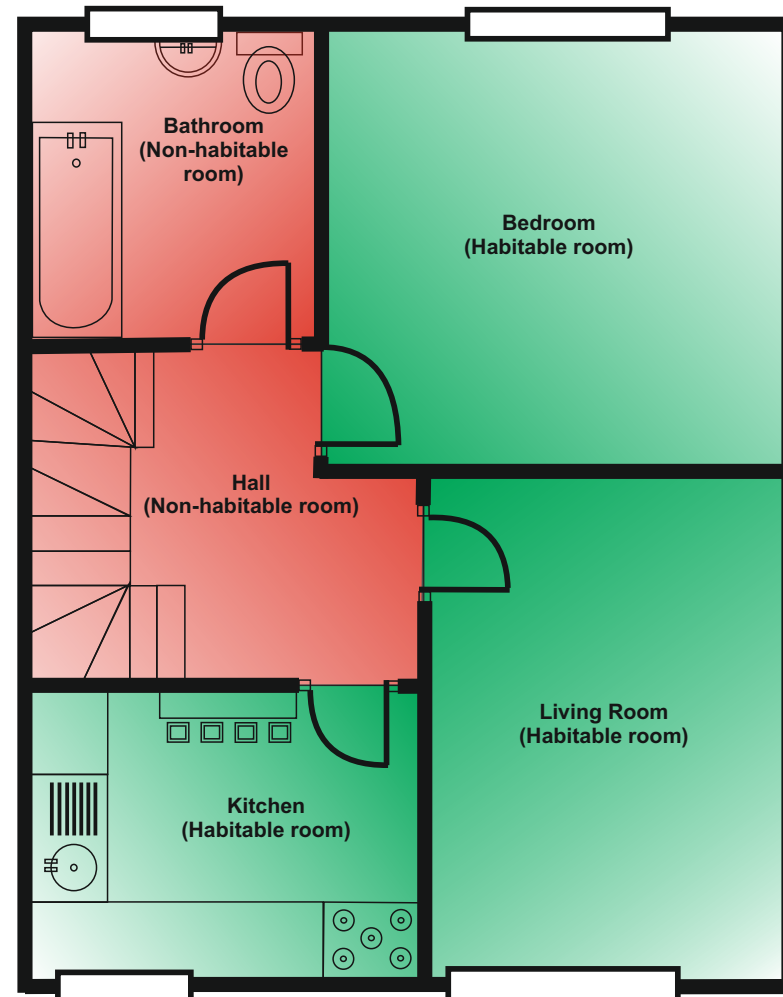
**Figure 2:**  
 Typical rear view of a terraced street.



3.1.7 It is important to understand the difference between habitable and non-habitable rooms. A habitable room is a room used or intended to be used for residential purposes, which can include a kitchen, but not any room used exclusively as a bathroom, hall or utility room (see Figures 3 and 4).



**Figure 3:**  
The kitchen is a non-habitable room as it does not have a dining area.



**Figure 4:**  
The kitchen becomes a habitable room as it due to its dining area.

# Householder Alterations & Extensions SPG02

3.1.8 It is worthwhile considering the character of the dwelling and the area when designing alterations, even if they seem small scale. The quality of an area can be negatively affected by the cumulative effect of decisions about window style and material, front doors, dormers and roof lights. In particular, the sense of place that is created by the typical Valley's terraced house is easily compromised over time, see Figures 5 and 6.

**Figure 5:**

A typical row of terraced houses with place-making architectural unity:

- Natural slate roof
- Roof lights flush with roof surface and aligned with first floor windows
- Stone and brick cleaned and repointed as needed
- White painted timber sliding sash windows
- Coloured window sub-frames (optional)



**Figure 6:**

A jumble of jarring alterations within a row of terraced houses.



As per Figure 5



Brown-fibre cement roof; Painted stone and brick; 'Georgian' small pane windows; 'Fanlight' in door.



Concrete tile roof; Stone cladding; Glazing bars removed from windows.



Over-sized box dormer; Painted brickwork; PVC windows and door; False window shutters.



Red tile roof; Pebble-dashed walls; Varnished hardwood windows; Varnished hardwood door.

## 3.2 Extensions

3.2.1 Extensions are likely to be the most significant change you will want to make to your dwelling. If it is poorly designed it will affect your dwelling, your neighbours and the street. There are particular factors that must be taken into account when designing your extension:

- The shape and size of the extension;
- Its distance from, and alignment with, overlooking windows; and
- Whether the site is higher or lower than the neighbouring dwelling.

3.2.2 As a general rule you should use external materials that harmonise with your existing dwelling and the existing area, with regard to this, each individual proposal will be assessed on its own merits.

3.2.3 It is important to recognise that **there is no right to a view.**

### Note 2:

The design of an extension should accord with principles of sustainable development.

### Note 3:

An extension should be in scale with the existing dwelling.

### Note 4:

Any extension to a dwelling in a Conservation Area must preserve or enhance the character or appearance of that Conservation Area.

### Note 5:

An extension built on a sloping site and which is visible from the street or other public area should be related to the slope rather than being imposed upon it.

### Note 6:

Any extension to a dwelling in the countryside should be modest in size and clearly subordinate to the original building.

### Note 7:

Any extension to a Listed Building or building of local architectural or historic interest, must be compatible with the protection of the special architectural and historic interest of the building.

### Note 8:

An extension offering semi-independent accommodation should not form a separate dwelling unit and should be designed so that it can easily be re-integrated into the original dwelling.

3.2.4 It is also important to recognise that a distance of 10.5 metres is recommended between a rear extension and a rear garden boundary (see Figure 7).

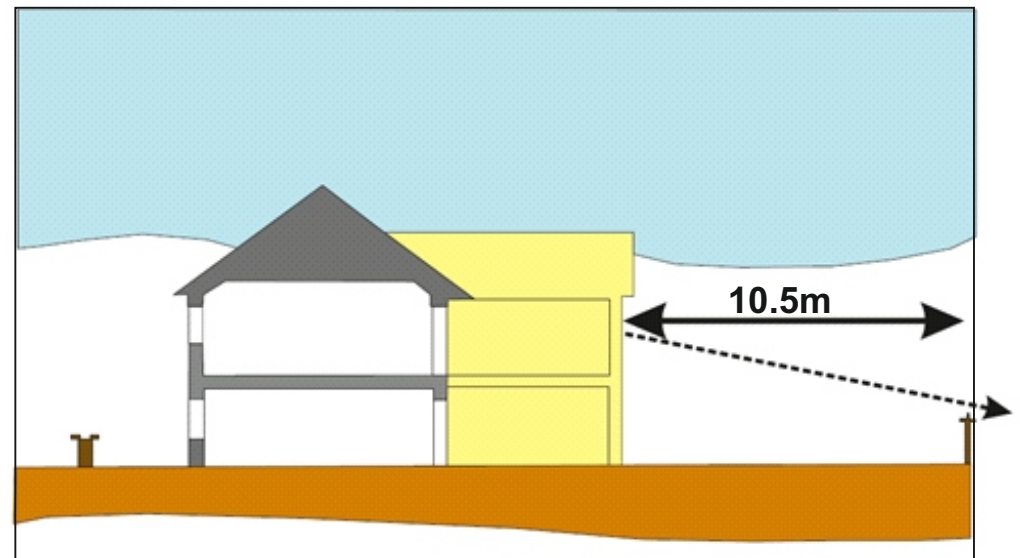
3.2.5 With many dwellings in the Bridgend County Borough on sloping sites, the slope must be taken into account in designing extensions. Too often, extensions are planned as if the site were flat, leading to large areas of unsightly brickwork as a support for the new accommodation. This is not recommended if the extension is in public view. It is better to introduce internal changes of level, to make use of the slope, rather than to try to ignore it.

3.2.6 It is important to note that with regard to extensions to dwellings in the countryside, development is strictly controlled. Dwellings in the countryside are a special case because they often stand alone and may be prominent in the surrounding landscape. There has been a tendency in the past to add extravagant extensions to humble cottages. The results are detrimental to the character of the countryside and also have the effect of reducing the choice of house types available in a rural setting.

3.2.7 Any extension to a dwelling in the countryside should be subordinate to the original dwelling. The original dwelling includes pre-1948 extensions in the calculation of original gross residential floorspace.

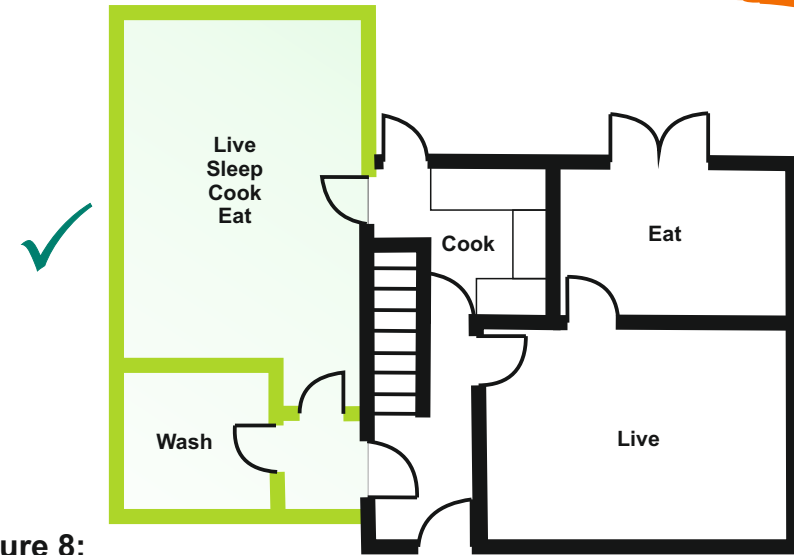
3.2.8 Listed buildings are very important buildings: Listed Building Consent will always be required for extensions and will usually be required for alterations (even if it is interior works), if the special interest of the building is affected in any way.

**Figure 7:**  
 A distance of 10.5 metres is recommended between a rear extension and a rear garden boundary.

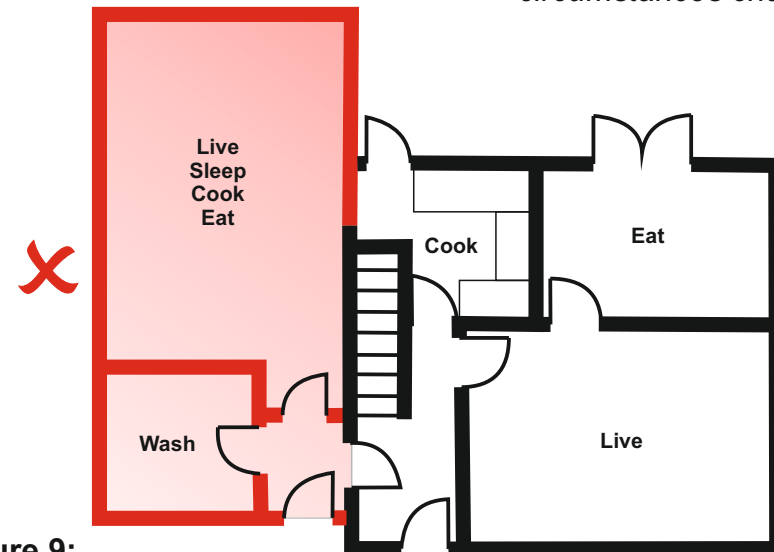


### 3.2.9 Other key principles to consider with extensions:

- It is important to consider how your extension impacts on access and parking.
- Where possible the extension should leave reasonable space around the property and an adequate area of garden.
- In particular development on corner plots, in view of their prominent position, needs to respect the existing street scene and include suitable boundary treatments where necessary.
- Sometimes neighbours can combine extensions to provide mutual benefits, without compromising residential amenity.
- The extension should have similar proportions to the existing dwelling and the same roof pitch as your dwelling.
- An extension offering semi-independent accommodation should not form a separate dwelling unit and should be designed so that it can easily be re-integrated into the original dwelling (see Figure 8 and 9).



**Figure 8:**  
**'Granny flat' with good internal access from existing house...**  
*easily integrated when circumstances change*



**Figure 9:**  
**'Granny flat' with separate front door and minimal internal link to existing house...**  
*effectively a separate dwelling*

## 3.2.10 Front Extensions

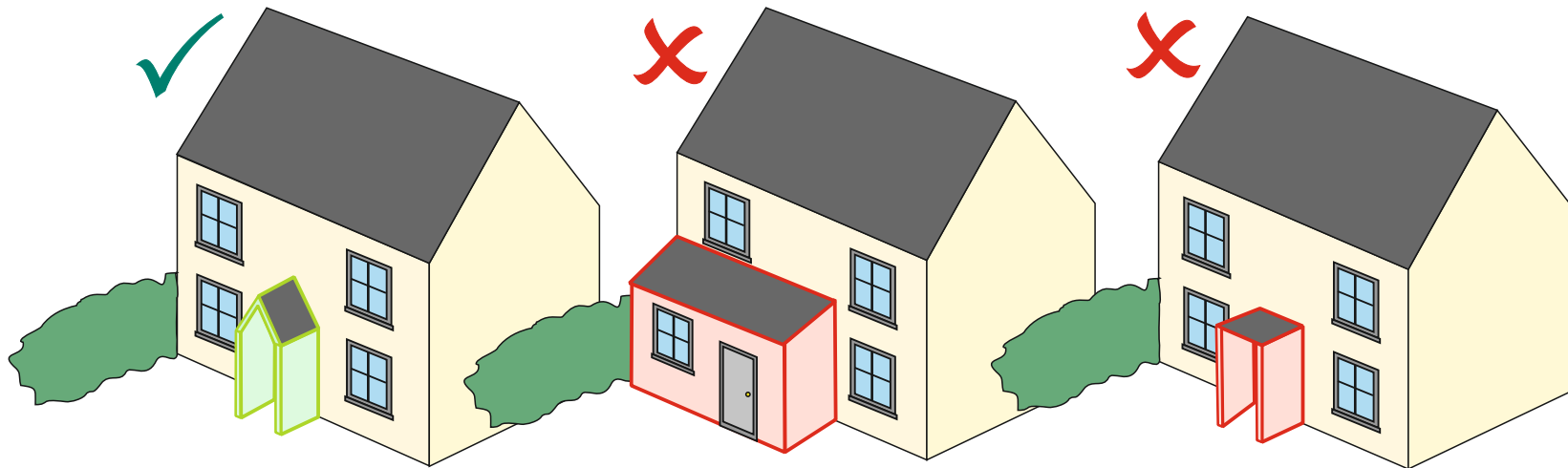
- Front extensions will normally only be permitted where the context is appropriate.
- Extensions that come forward of a definable building line, including porches, should be designed to the highest standard in recognition of their prominence in the street scene (see Figure 10).
- Extensions should generally be kept behind the building line. Anything built forward of the building line is likely to have a strong effect on the general character of an area.

### Note 9:

Front extensions that come forward of a definable building line, including porches, should be designed to the highest standard in recognition of their prominence in the street.

**Figure 10:**

Examples of front extensions that are acceptable and unacceptable.



## 3.2.11 Side Extensions

### Note 10:

A side extension to a semi-detached dwelling should respect the original symmetry between the pair of dwellings.

### Note 11:

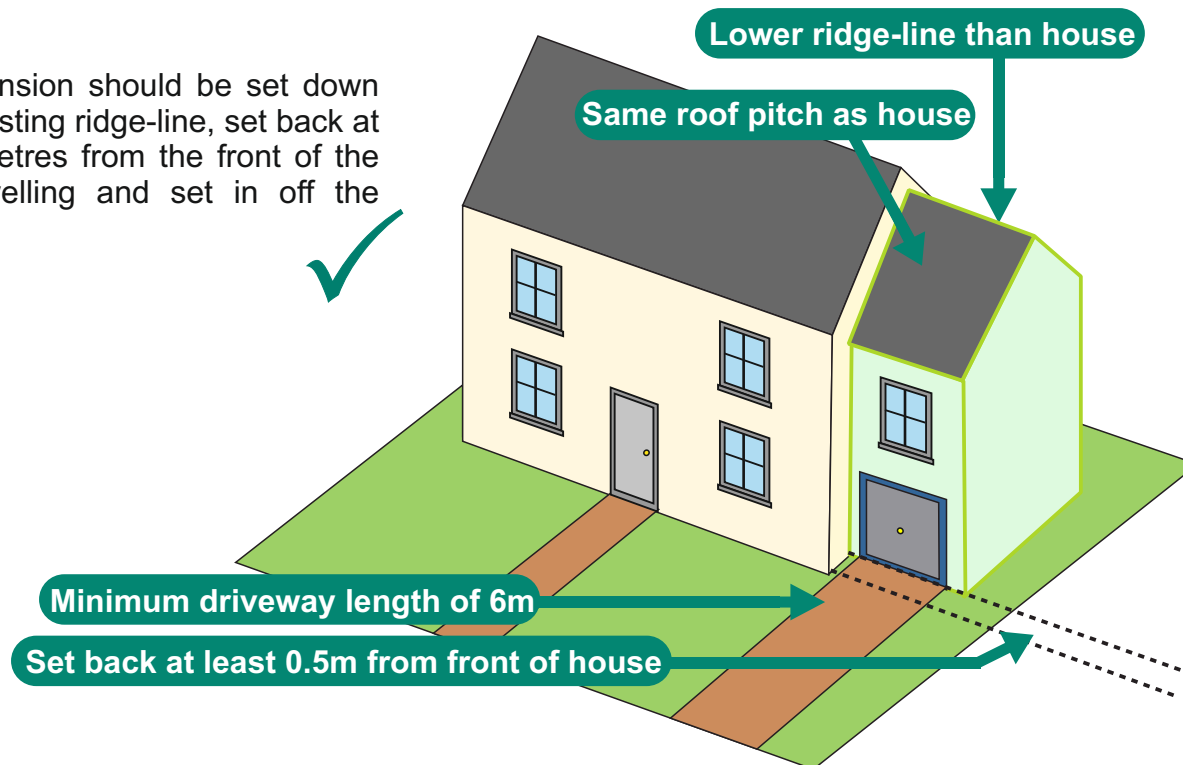
No side extension should have a design that, if repeated on adjoining dwelling, would create the appearance of terraced housing.

3.2.11.1 A side extension to a semi-detached dwelling should respect the original symmetry between the pair of dwellings. To minimise the effect of unbalancing the design of symmetry, it is important that the articulation is fulfilled.

3.2.11.2 The side extension should be set down, set back and set in from the original dwelling and appear subservient in nature (see Figure 11). See Figures 12-20 for examples of appropriate and inappropriate side extensions.

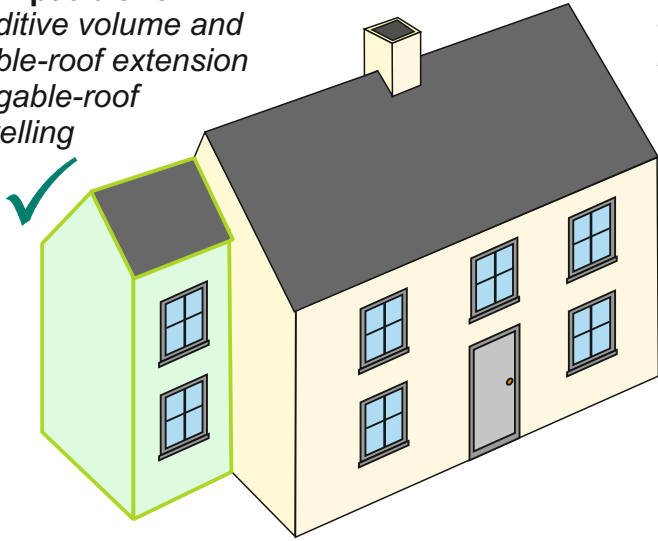
**Figure 11:**

A side extension should be set down from the existing ridge-line, set back at least 0.5 metres from the front of the existing dwelling and set in off the boundary.

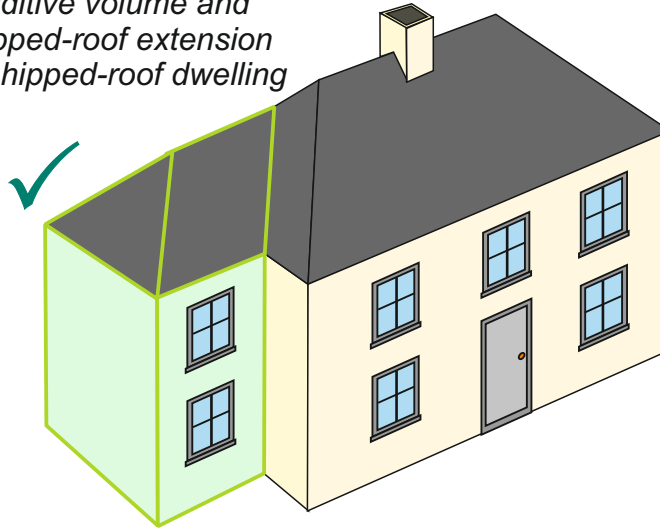


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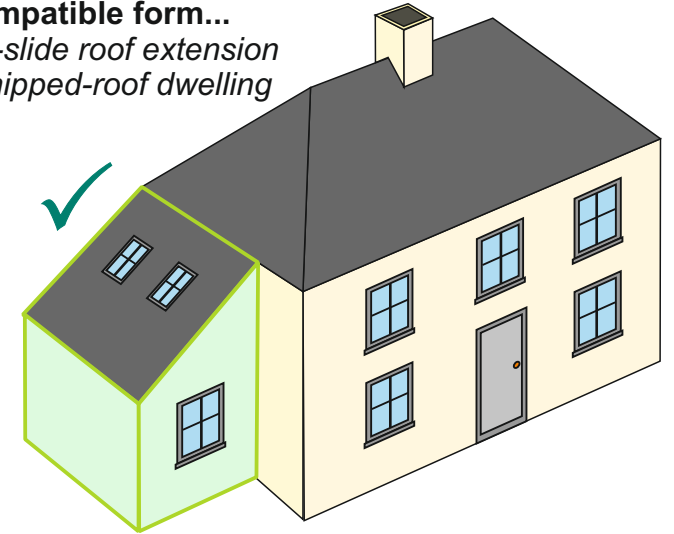
**Figure 12:**  
**Compatible form...**  
*additive volume and gable-roof extension to gable-roof dwelling*



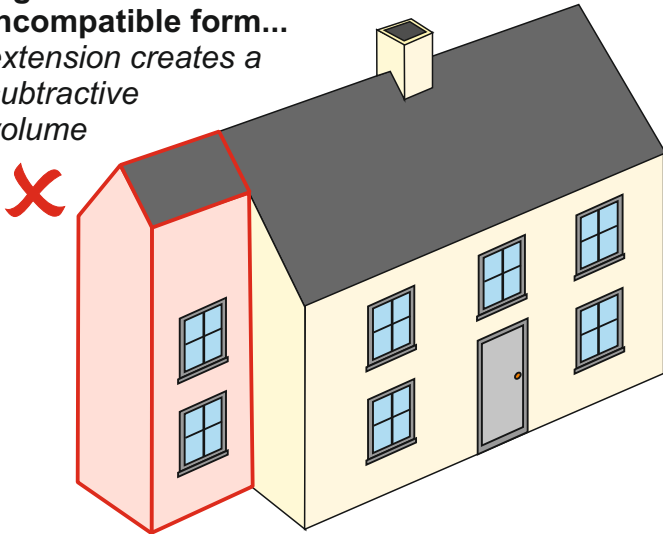
**Figure 14:**  
**Compatible form...**  
*additive volume and hipped-roof extension to hipped-roof dwelling*



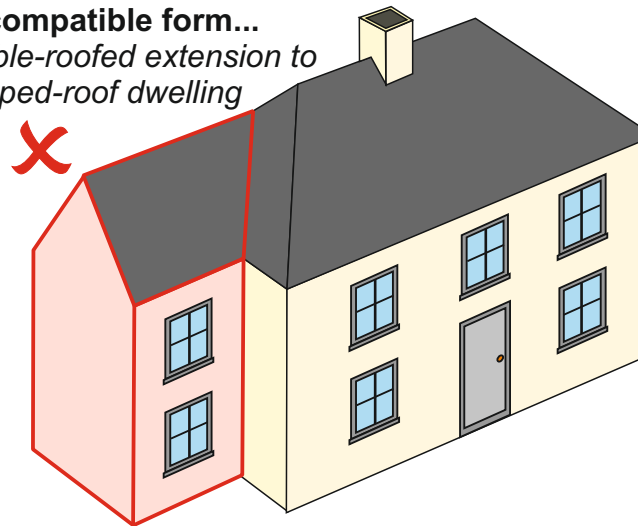
**Figure 16:**  
**Compatible form...**  
*cat-slide roof extension to hipped-roof dwelling*



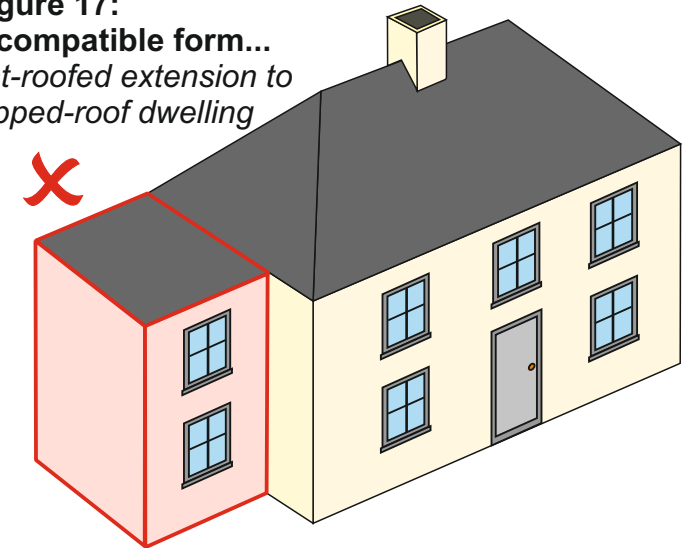
**Figure 13:**  
**Incompatible form...**  
*extension creates a subtractive volume*



**Figure 15:**  
**Incompatible form...**  
*gable-roofed extension to hipped-roof dwelling*



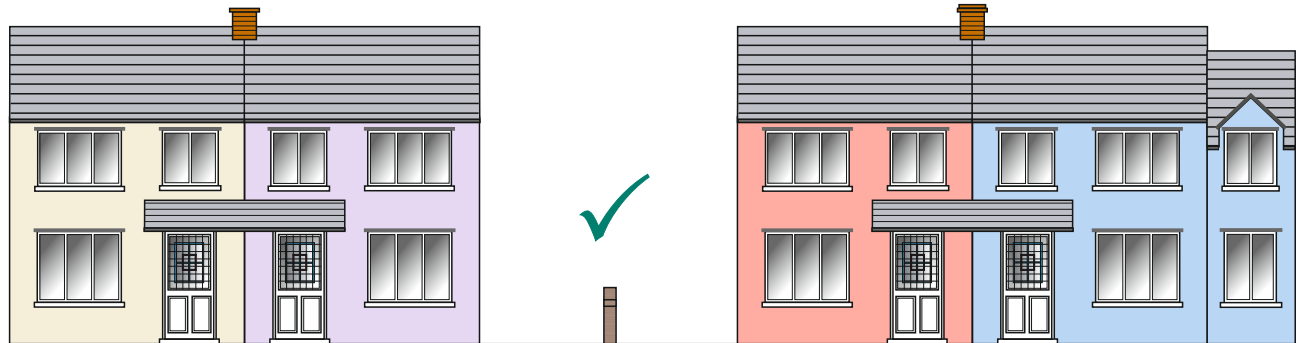
**Figure 17:**  
**Incompatible form...**  
*flat-roofed extension to hipped-roof dwelling*





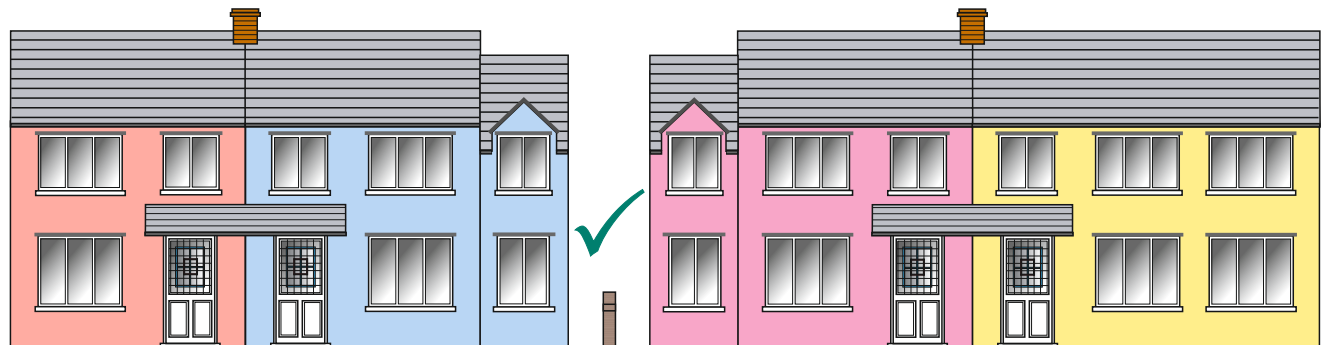
**Figure 18:**

The spaces between buildings are a component of the character of the street scene. Care needs to be taken to ensure that extensions do not adversely affect this character.



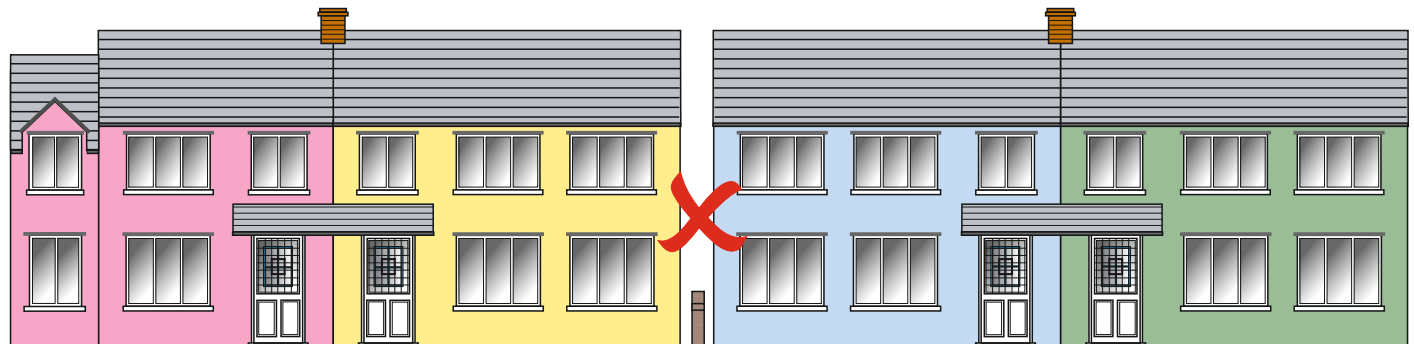
**Figure 19:**

Ensuring that a side extension is no less than 1 metre from the property boundary retains a sense of a gap between dwellings, setting the extensions back at least 300mm from the front of the original dwelling and setting the ridge lower retains a sense of the symmetry of the pair of semi-detached dwellings.



**Figure 20:**

An extension built up to the common boundary and flush with the front wall of the original dwelling creates a 'terracing' effect that changes the character of the street scene. It is not recommended.

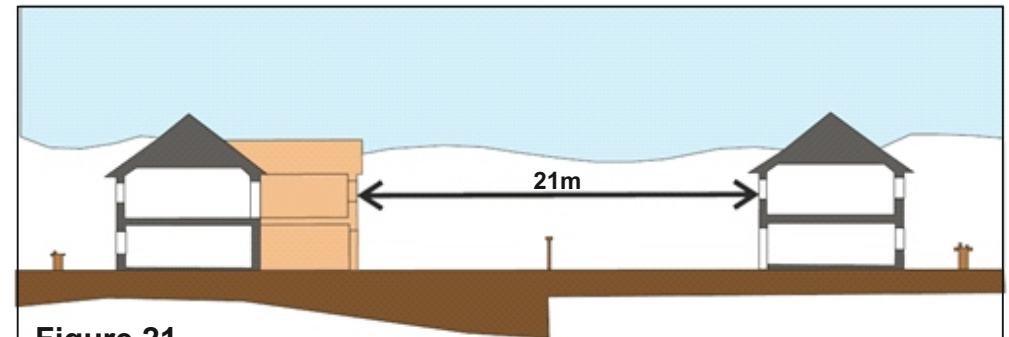


## 3.2.12 Rear Extensions

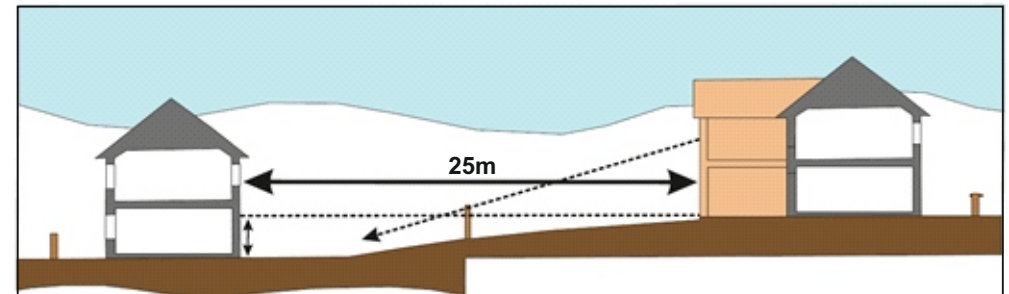
3.2.12.1 The minimum distance between directly facing habitable room windows in adjacent properties should normally be 21 metres (see Figure 21). Reductions may be applicable where:

- Permanent screening can be provided between facing ground floor windows;
- The overlooking is between windows fronting on to a highway where established building lines are less than 21 metres apart;
- The overlooking is between windows fronting on to a public space where the buildings are used to define spatial enclosure;
- The angle of overlooking between windows is not direct, allowing the distance between windows to be reduced as the angle between them is increased;
- The overlooked window is a secondary window;
- Either the overlooked or overlooking window is high level or it is permanently obscurely glazed and fixed - usually appropriate only if there is a second clear-glazed and opening window serving the same room.

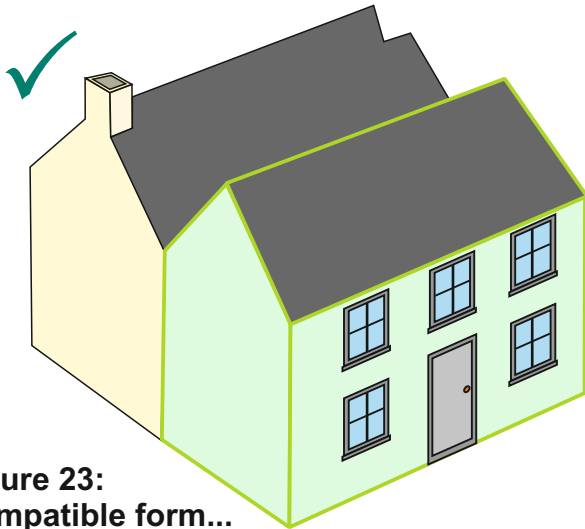
3.2.12.2 Two-storey extensions to the rear of dwellings can affect privacy if first floor habitable room windows overlook the backs of adjacent dwellings. When there is a change in levels, the separation distance between an extension and an opposing window may need to be increased to 25 metres to maintain adequate levels of privacy, see Figure 22.



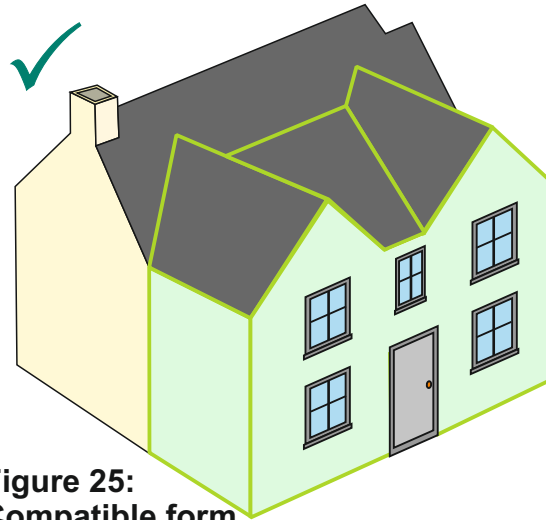
**Figure 21**  
 A distance of 21 metres is required between the windows of two habitable rooms in a back-to-back situation.



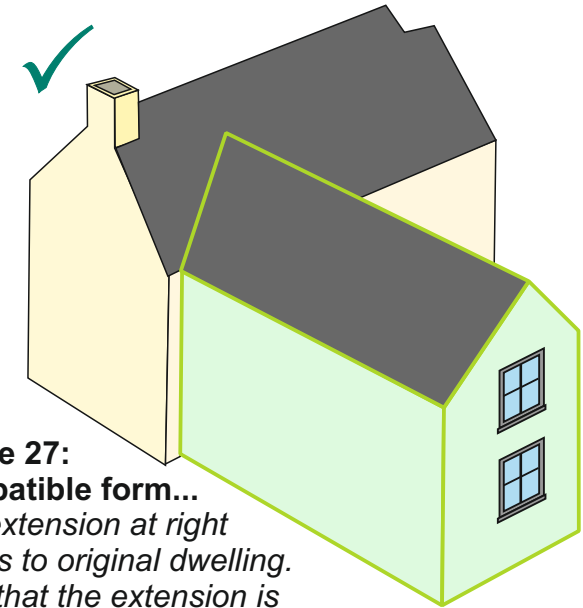
**Figure 22**  
 Where there is a change in levels, the separation distance between an extension and an opposing window may need to be increased to 25 metres to maintain adequate levels of privacy.



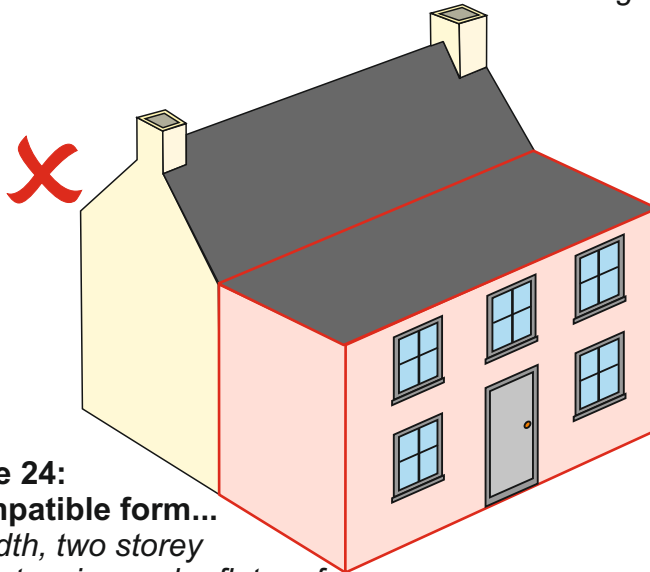
**Figure 23:**  
**Compatible form...**  
*full width, two storey rear extension under gable roof. Note that, although a traditional form, the valley gutter needs careful construction and maintenance.*



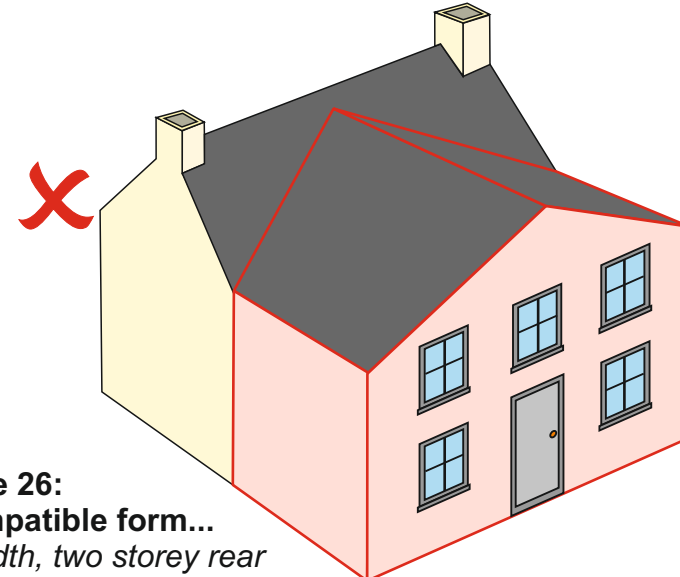
**Figure 25:**  
**Compatible form...**  
*full width, two storey rear extension effectively disguised as paired gables with linking flat or shallow-pitched roof.*



**Figure 27:**  
**Compatible form...**  
*rear extension at right angles to original dwelling. Note that the extension is lower than the house.*



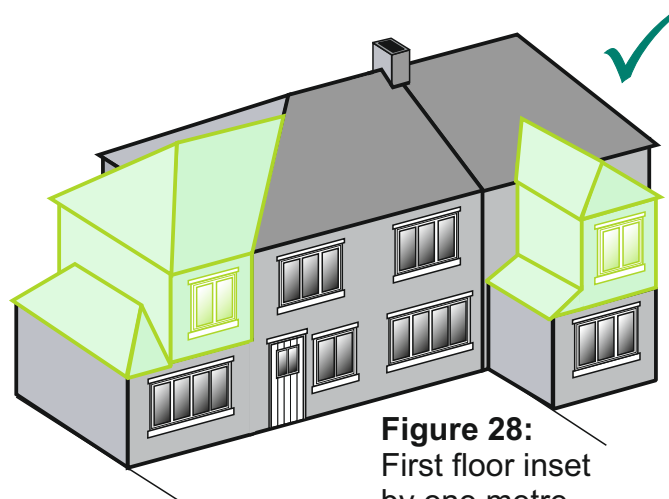
**Figure 24:**  
**Incompatible form...**  
*full width, two storey rear extension under flat roof.*



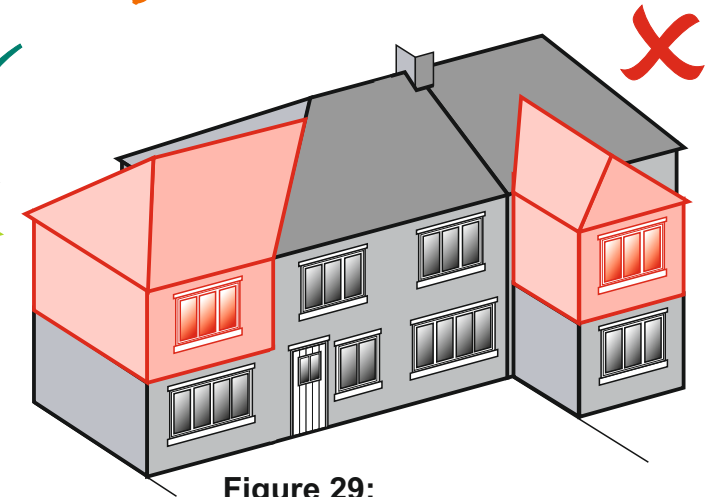
**Figure 26:**  
**Incompatible form...**  
*full width, two storey rear extension under shallow-pitched roof.*

# Householder Alterations & Extensions SPG02

3.2.12.4 If an extension that will overhang the site boundary is proposed, the design statement should explain why the applicant believes that the extension cannot be contained within the curtilage of the property being extended, and why it will not damage the amenity or development potential of the property affected (see Figures 28-31). Applicants should take care in ensuring that the correct Certificate of Ownership is completed and that Notice is served on the owner of the adjoining property. The provisions of the Party Wall etc Act 1996 must also be satisfied.



**Figure 28:**  
 First floor inset  
 by one metre.



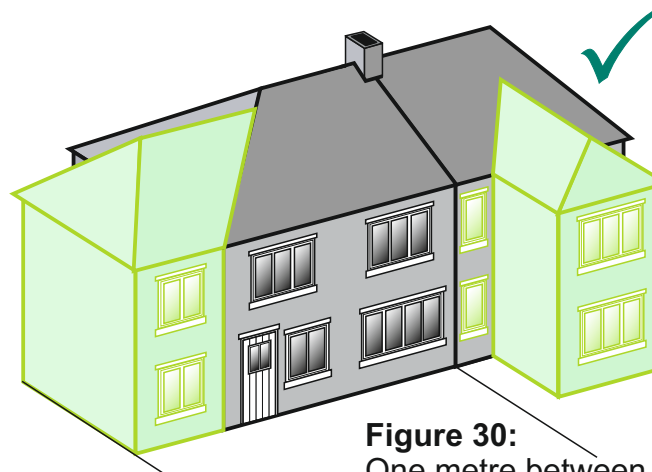
**Figure 29:**  
 First floor extensions built directly  
 over existing single storey elements  
 which reach the site boundary.

**Note 12:**

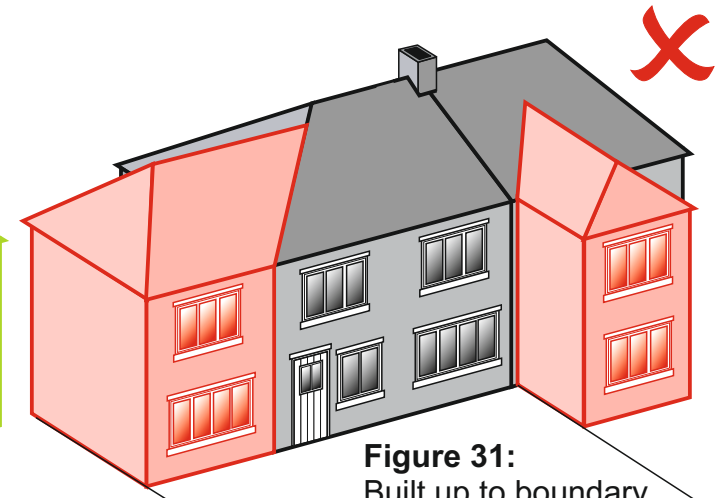
Extensions that overhang the boundary with adjoining dwelling are not advisable unless it is shown that they have no adverse effect on residential or visual amenity.

**Note 13:**

Two storey extensions or first-floor extensions over existing single-storey elements which are built up to the boundary with adjoining dwelling are not advisable unless it is shown that they have no adverse effect on residential or visual amenity.



**Figure 30:**  
 One metre between  
 extension and  
 boundary.



**Figure 31:**  
 Built up to boundary.

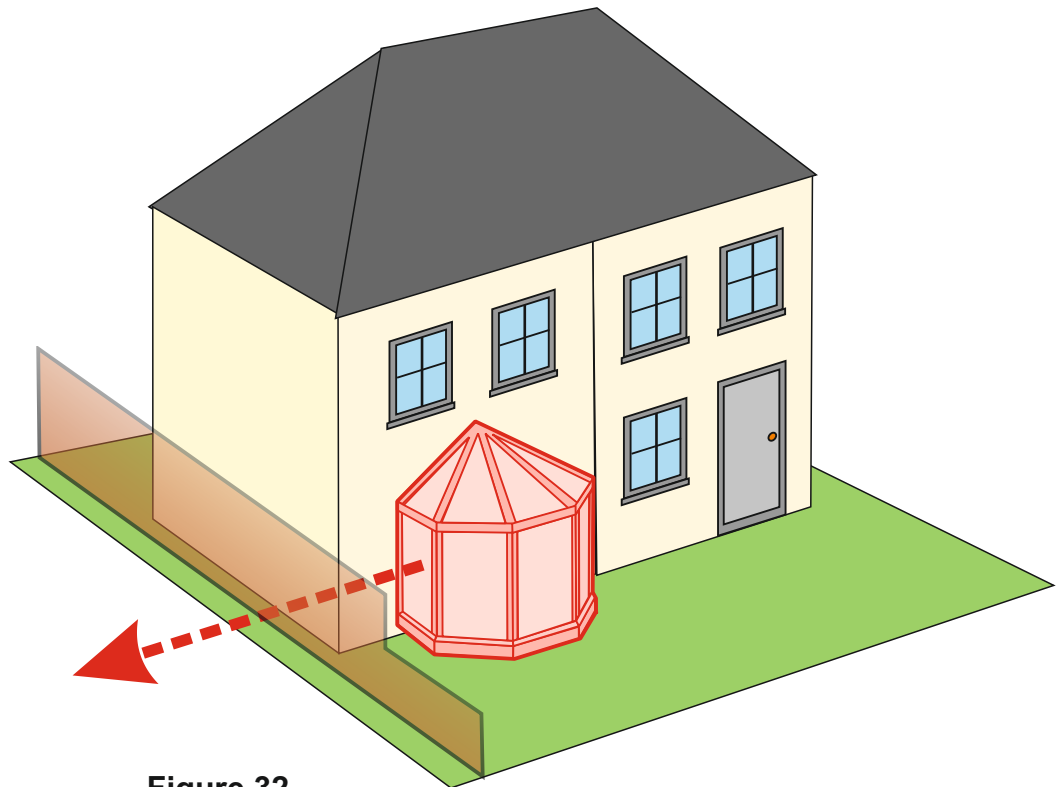
## 3.2.13 Conservatories

3.2.13.1 Conservatories may be closer to a property boundary without having a detrimental impact upon privacy, depending upon the arrangement of windows and boundary screen fencing or hedging, see Figure 32.

3.2.13.2 Issues arise when the conservatory is elevated, however this issue may be resolved by using obscure glazing in the side panels of the conservatory.

3.2.13.3 Key principles to consider with conservatories:

- How your conservatory impacts on access and parking.
- The conservatory should have similar proportions to the existing dwelling and the same roof pitch as your house.
- Where possible the conservatory should leave reasonable space around the property and adequate area of garden.
- Development on corner plots needs to be designed to respect the existing street scene and have suitable boundary treatments.



**Figure 32**

Conservatories should not overlook a neighbour's garden. This is particularly an issue when the conservatory is elevated but it can be overcome by screening

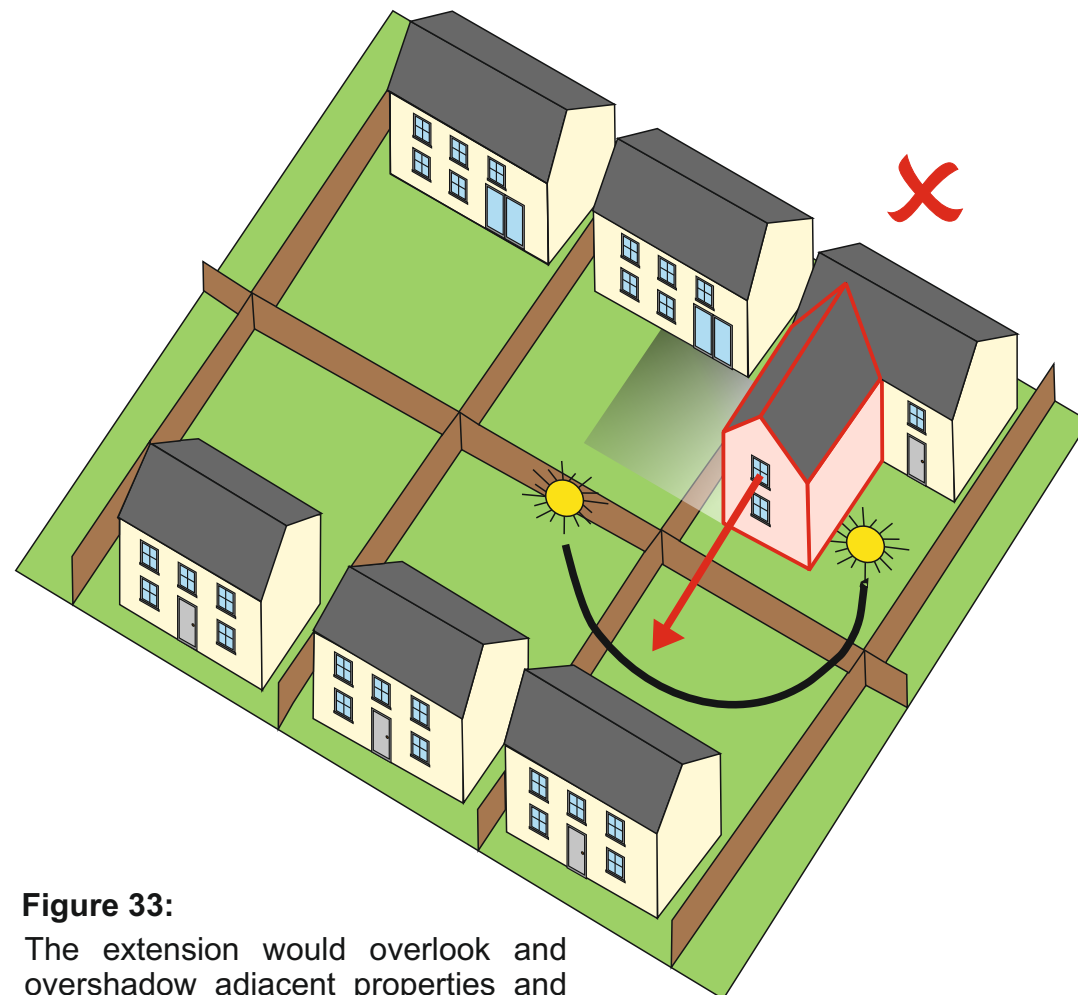
**Note 15:**

No extension should unreasonably dominate the outlook of an adjoining dwelling.

# Householder Alterations & Extensions SPG02

- 3.2.14 **Overlooking** A sense of privacy within the house and a freedom from overlooking in at least a part of the garden are aspects of residential amenity.
- 3.2.15 **Overbearing** Two-storey extensions or first-floor extensions over existing single-storey elements, which are built up to the boundary with adjoining property, are not advisable unless it is shown that they have no adverse effect on residential or visual amenity.
  - 3.2.15.1 A two-storey extension built close to the site boundary can have an overbearing impact on the adjoining property (see Figure 33).
  - 3.2.15.2 Where there is a need for the provision of basic facilities for an older terraced house there may be a justification for building up to the boundary. Generally, it is recommended that at least 50cm and preferably 1 metre be left between an extension and the boundary of the site. It helps to limit the visual dominance of an extension which might otherwise be unacceptably overbearing for neighbours.
  - 3.2.15.3 Building on or up to the property boundary can be a major source of neighbour disputes.
  - 3.2.15.4 If a proposal is for an extension that will be built up to the site boundary, it should be adequately justified that there is no alternative and that the development will not damage the residential amenity of the property affected.
  - 3.2.15.5 Anyone proposing an extension that approaches or is built up to the site boundary must take account of the provisions of the Party Wall etc. Act 1996.

**Note 14:**  
 An extension should respect the privacy of neighbours.



**Figure 33:**  
 The extension would overlook and overshadow adjacent properties and would be overbearing to the adjoining rear gardens. **This is not acceptable.**

3.2.16 **Overshadowing** - No extension should unreasonably overshadow adjoining property.

3.2.16.1 A poorly-designed extension can reduce daylight and sunlight to an unreasonable extent and, in the worst cases, the right to light may be infringed.

3.2.16.2 An extension that is situated within 90 degrees of due south of an adjoining property may affect the sun lighting of that property, depending on its height, size and proximity.

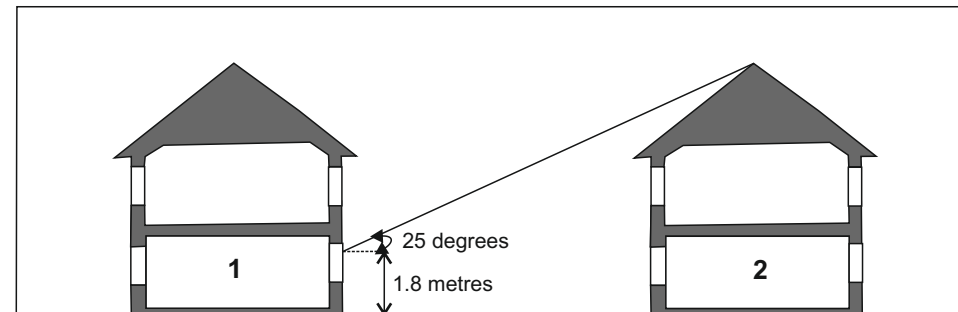
3.2.16.3 A habitable room window in an adjoining property may be adversely affected in terms of daylight if a new extension that it faces subtends an angle of more than 25 degrees (see Figure 34) above the horizontal (the angle is measured from the centre-point of the existing window in a plane perpendicular to it. In the case of patio doors the angle is measured from a height of 1.8 metres).

3.2.16.4 Proposals for the extension of terraced properties should be designed to minimise overshadowing. Some flexibility in the amount of overshadowing, considered reasonable for terraced houses, may be justified for extensions essential for the provision of basic facilities.

3.2.16.5 If an extension which infringes the guidance relating to overshadowing is proposed, a design statement should explain why the applicant believes that the development will not damage the residential amenity of the property affected.

## Note 16:

No extension should unreasonably overshadow adjoining dwellings.



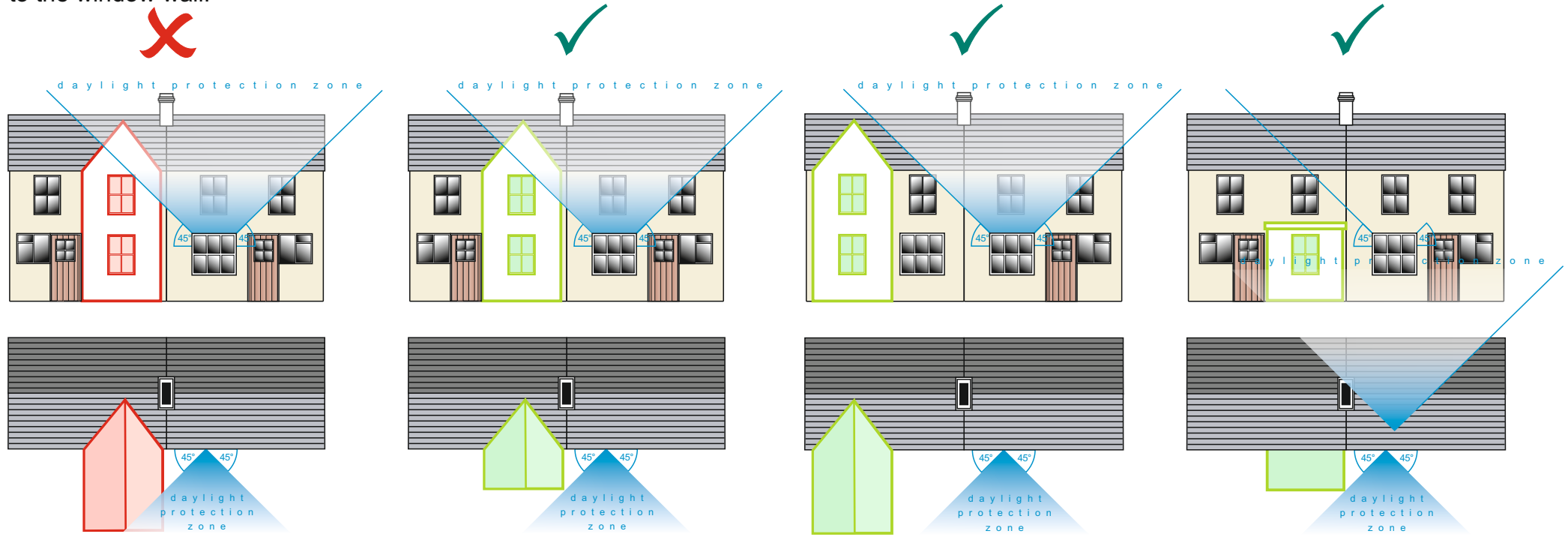
**Figure 34**

1. Highlights the reference line for the daylight calculation
2. Shows the obstructing building

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3.2.16.6 A habitable room window may be adversely affected by an adjoining extension whose nearest wall is perpendicular to the window if the extension intrudes on daylight protection zones defined by lines drawn at 45 degrees from the mid-point of the window on plan and elevation. Please see the following Figure 35 as to what is deemed acceptable and unacceptable.

**Figure 35:** Examples of appropriate and inappropriate extensions for detached, semi-detached and modern terrace housing, where extension is perpendicular to the window wall.



Extension intrudes on daylight protection zone both in plan and in elevation

Extension intrudes on daylight protection zone in elevation but not in plan

Extension intrudes on daylight protection zone in plan but not in elevation

Extension does not intrude on daylight protection zone either in plan or elevation



## 3.3 Dormer Windows and Roof Lights

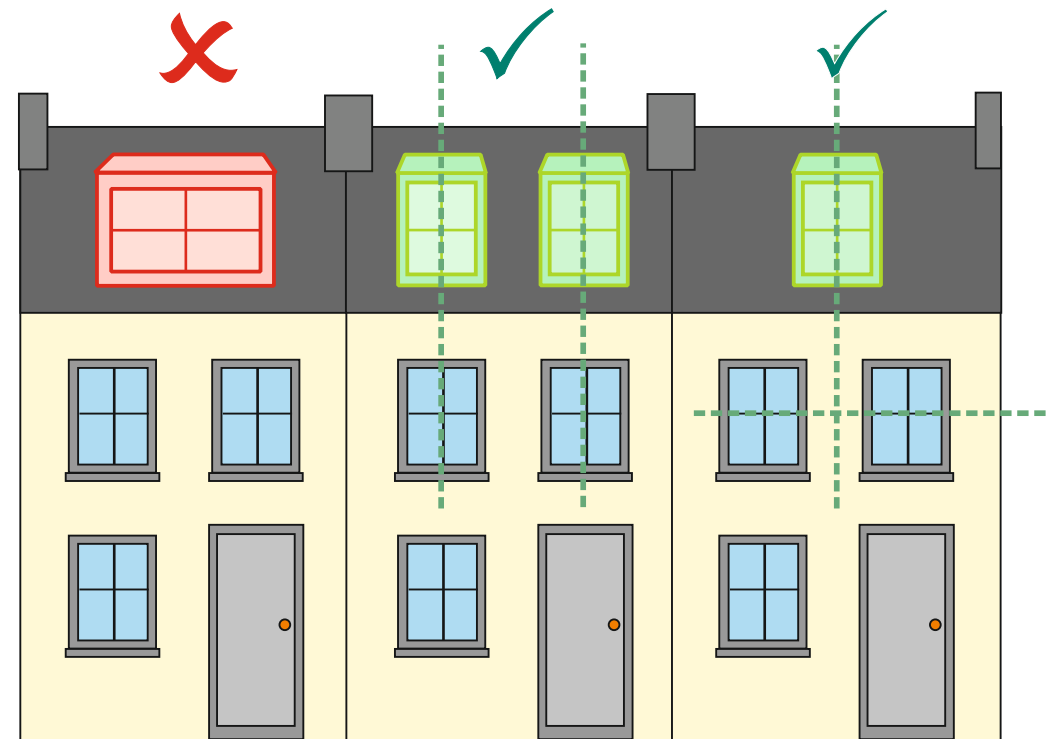
### Note 17:

Dormer extensions should be sympathetic to the existing house in their shape, position, scale and material.

### Note 18:

Roof lights should be sympathetic to the existing house in their shape, position, scale and material.

- 3.3.1 Dormer extensions should be sympathetic to the existing house in their shape, position, scale and material (different types of dormers are shown in Figure 36).
- 3.3.2 Changes to the roof of a house or bungalow should be carefully considered. They are almost always prominent and can be easily damaging to the appearance.
- 3.3.3 Large roof extensions rarely appear satisfactory if they affect the front or side roof slopes or if they rise above the ridge of the existing building. Box-like flat roof dormers can jar against the slope of the roof and are usually unsightly.
- 3.3.4 Dormer windows are not normally permitted to the front of your dwelling, unless they are an existing local feature.
- 3.3.5 Any proposal should respect the existing pitch and style of roof in the surroundings. Increasing the roof pitch, ridges or eaves height can significantly alter the appearance of a dwelling.



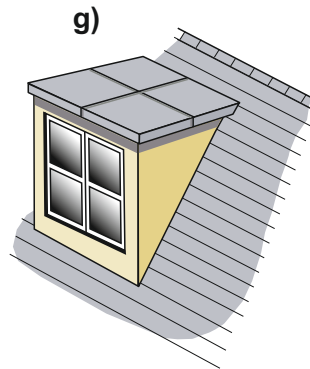
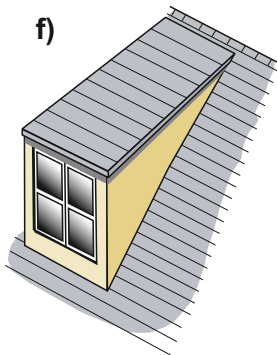
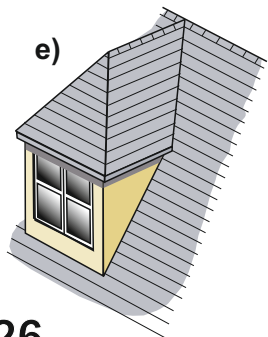
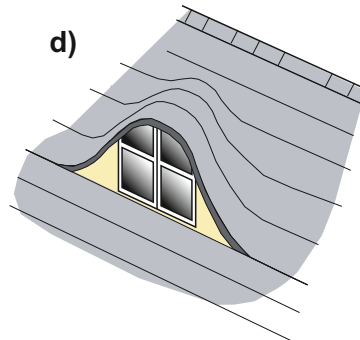
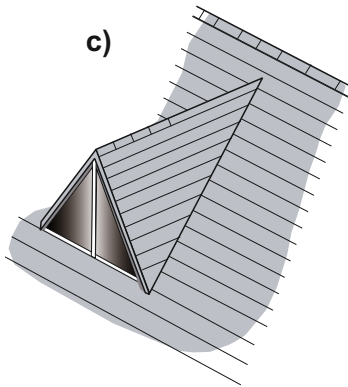
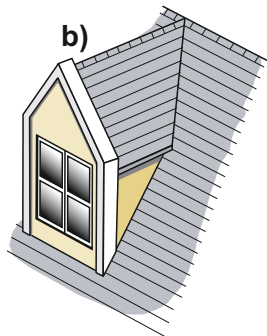
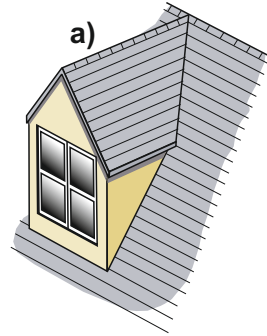
**Figure 36:**

Dormer windows should reflect the symmetry and size of other windows on your house. Two small dormers are better than one large dormer.

**Figure 37:**

The traditional forms of dormer windows:

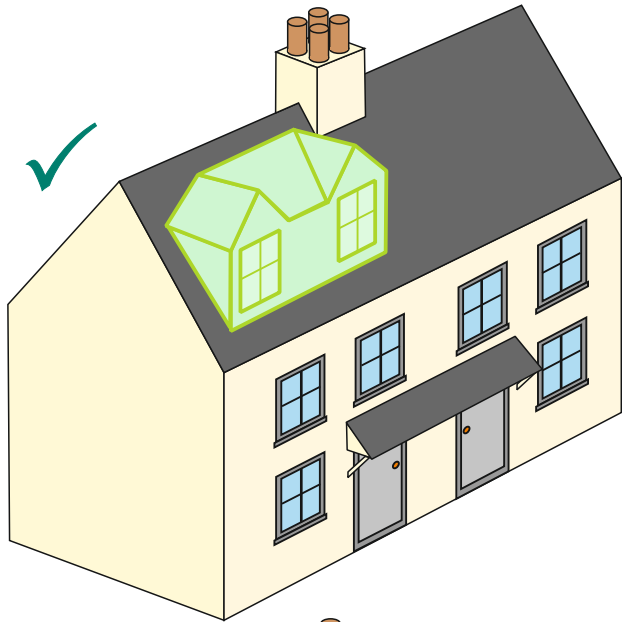
- a) gable
- b) projecting gable
- c) gablet
- d) eyebrow
- e) hip
- f) catslide
- g) lead flat roof



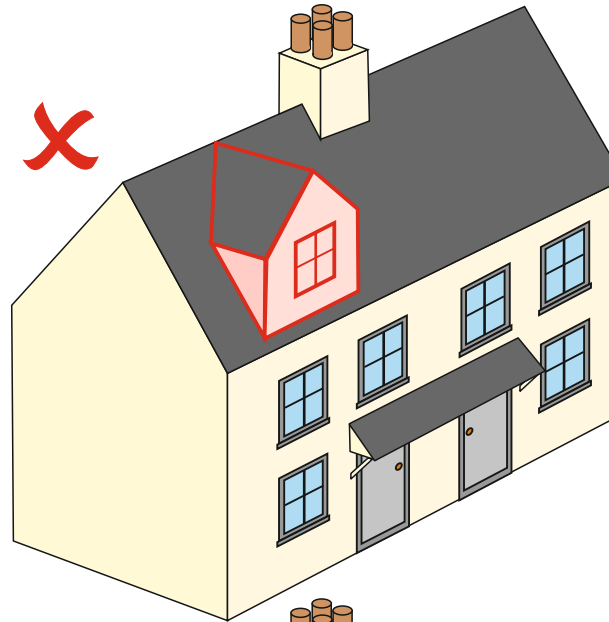
3.3.6 The key principles to consider with dormer windows are:-

- Dormer windows should be subservient to the main roof and should normally use the same pitch and roofing details as the main roof.
- Dormers should cover no more than 50% of the roof area on which they are located.
- Dormer windows should be set down from the ridge and in from the sides of the roof.
- Dormer windows should be set well back from the eaves, unless the dormer face is an extension of the wall of the dwelling. The latter is usually only appropriate if the sills of the window are set at or below eaves height.
- New dormer windows should reflect the design of dormer windows that are an original feature of other buildings in the area or street, see Figure 37.
- Materials for dormers should match or harmonise with the roof materials.
- Dormer windows should be positioned to complement the pattern of the windows on the rest of the dwelling.
- Two smaller dormer windows can often be preferable to one large window.

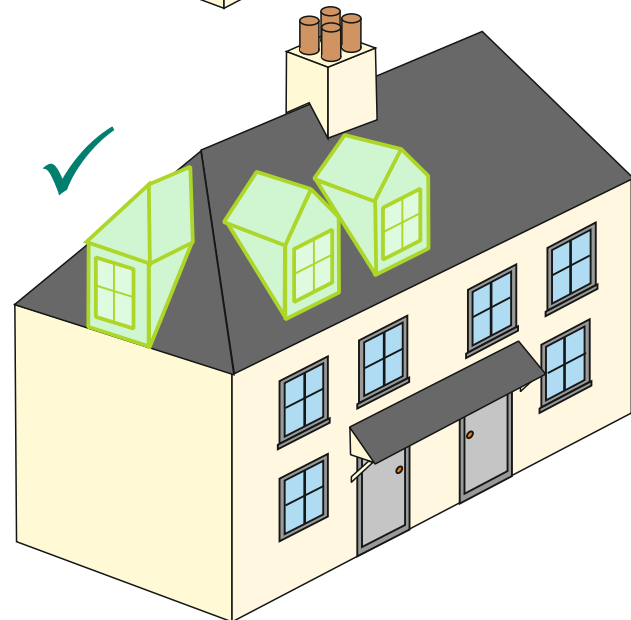
3.3.7 Examples of appropriate and inappropriate dormers are shown in Figures 38-45.



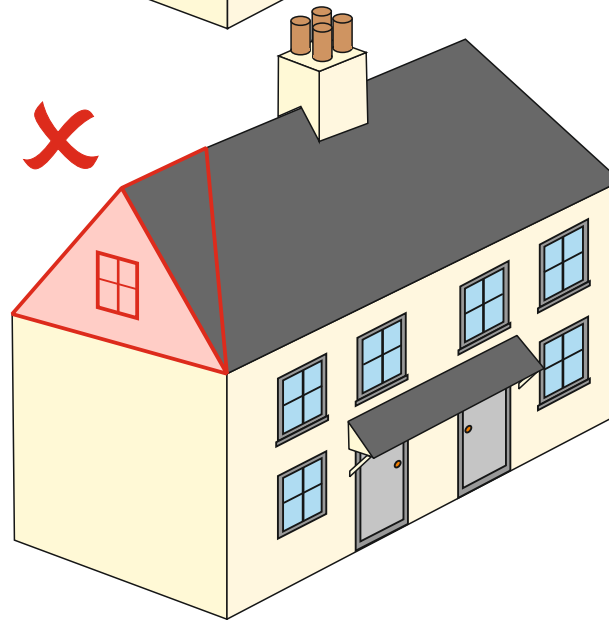
**Figure 38:**  
It may, exceptionally, be appropriate to link a pair of traditional dormers. This can create additional usable floorspace, like a single box dormer, while matching the form of the original dwelling.



**Figure 39:**  
The coincidence of main and dormer ridges weakens the clarity of form of the resulting building. The width of the dormer and its location close to the eaves results in an overbearing and dominating structure out of scale with the original dwelling.

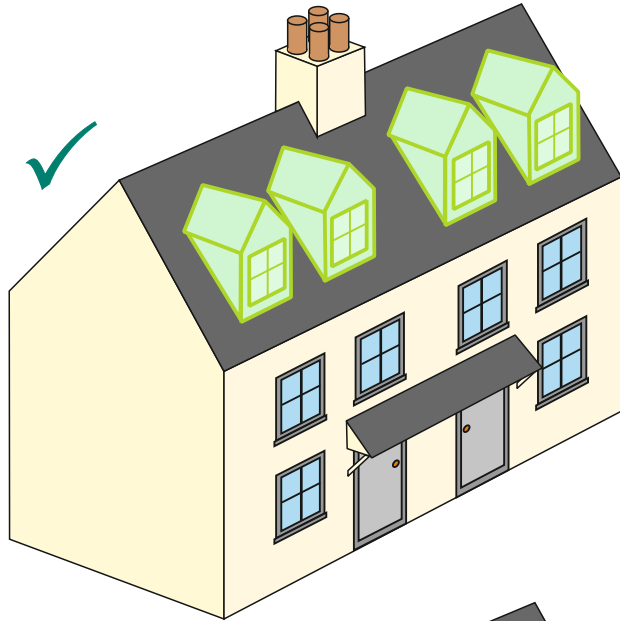


**Figure 40:**  
On a side elevation, inset from the front and rear roof slopes, can, as an exception, rise direct from the wall without obscuring the original form of the dwelling. The hipped roofs of the dormers reflect the original form of the dwelling.

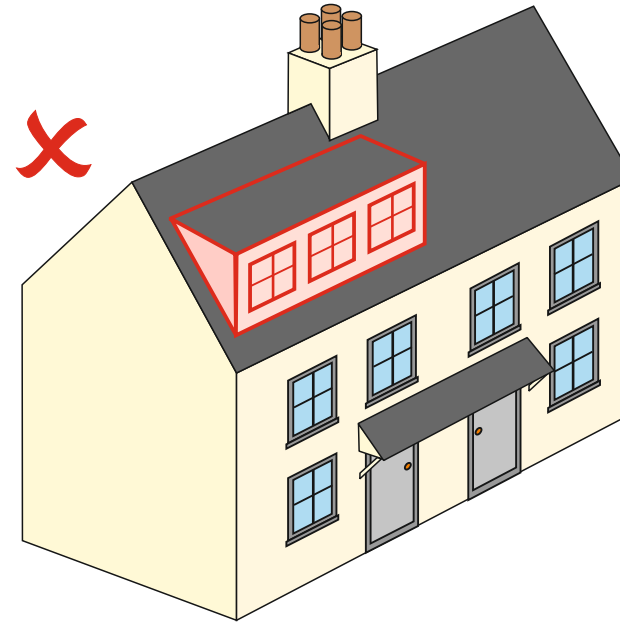


**Figure 41:**  
Changing a hip to a gable at only one end of a building harms the original form.

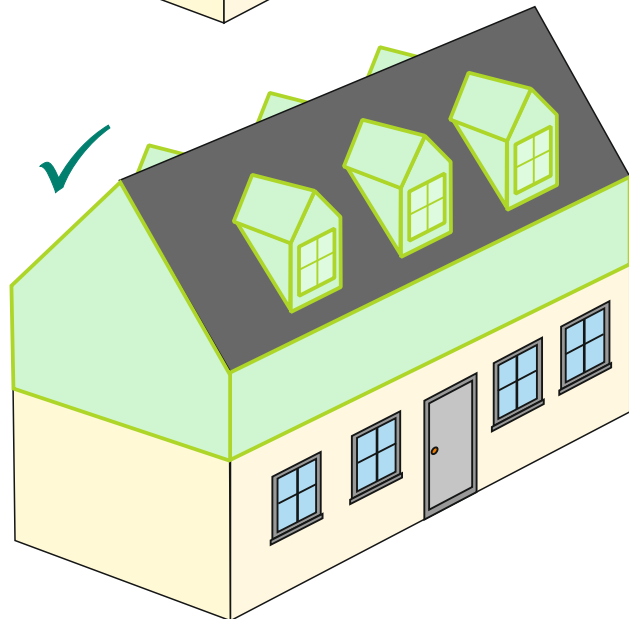
# Householder Alterations & Extensions SPG02



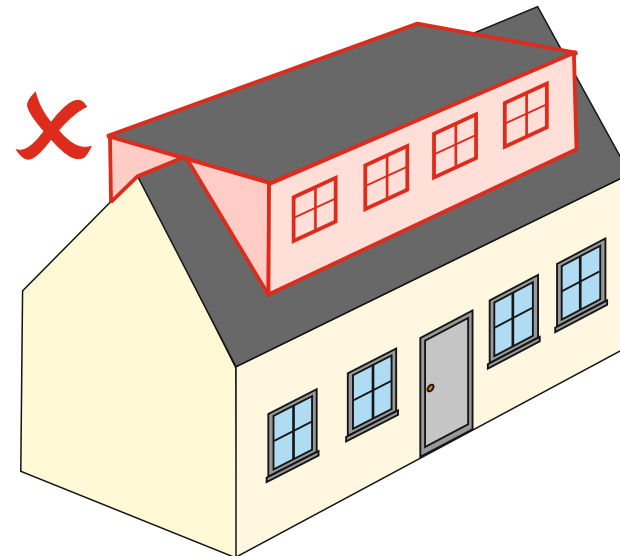
**Figure 42:** Gable dormers match form of gabled-roof dwelling. Small dormers aligned with windows of ground and first floors.



**Figure 43:** If the box dormer is unsympathetic to the form of the original dwelling. The width of the box dormer bears no relation to the character of the windows of the original dwelling and looks out of place as a result.



**Figure 44:** It is better to raise the eaves and gables of the original bungalow to create a new first floor, provided that the privacy of neighbours is not compromised and that the higher dwelling does not appear out of context.



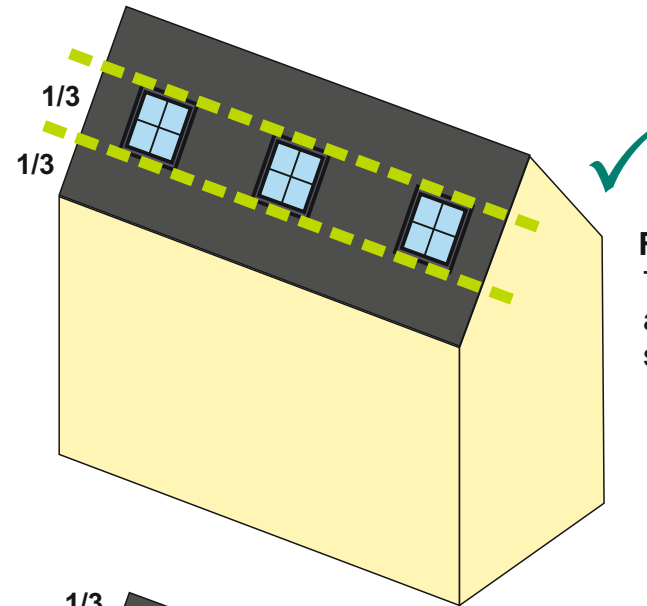
**Figure 45:** A front and rear box dormer is ugly and dominates the original dwelling. It is unlikely to be an acceptable form for an extension.

3.3.8 Sloping roof lights are less intrusive than dormer windows and can reduce the problems of overlooking. Roof lights should ideally be set within the middle third of the roof slope away from gables or roof abutments and chimneys. If there is more than one roof light they should normally be at the same level, evenly spaced and of the same size, shape and design.

3.3.9 On older dwellings large roof lights should normally be avoided.

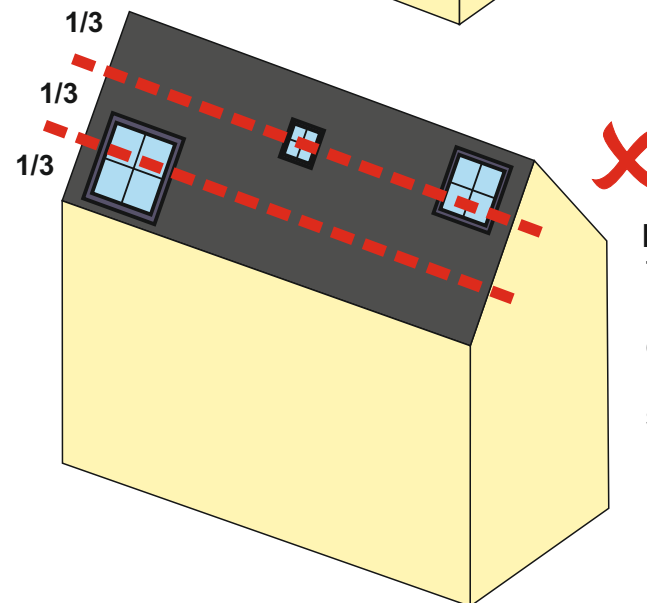
3.3.10 The key principles to consider with roof lights are:-

- Roof lights should ideally be set within the middle third of the roof slope away from gables, roof abutments and chimneys (see Figure 46).
- If there is more than one roof light, they should be at the same level, evenly spaced, and of the same size, shape and design.
- Excessive numbers and different sizes of roof lights could be detrimental to the appearance of a dwelling (see Figure 47).
- If the dwelling is in a Conservation Area, is a Listed Building or is a historic building of local importance, prior consultation with the Local Planning Authority is recommended.



**Figure 46:**

The roof lights are small and in the middle of the roof space and are evenly spaced.

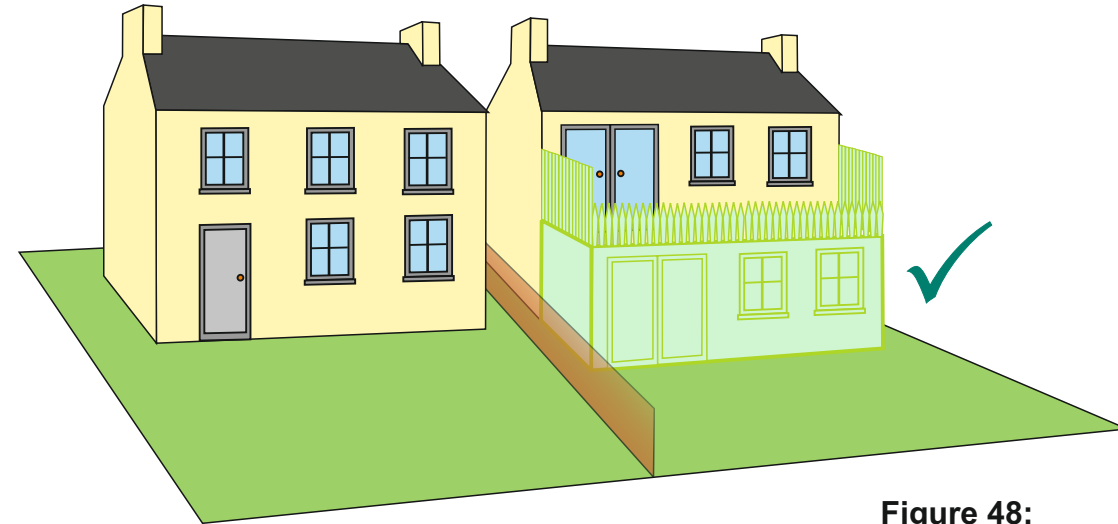


**Figure 47:**

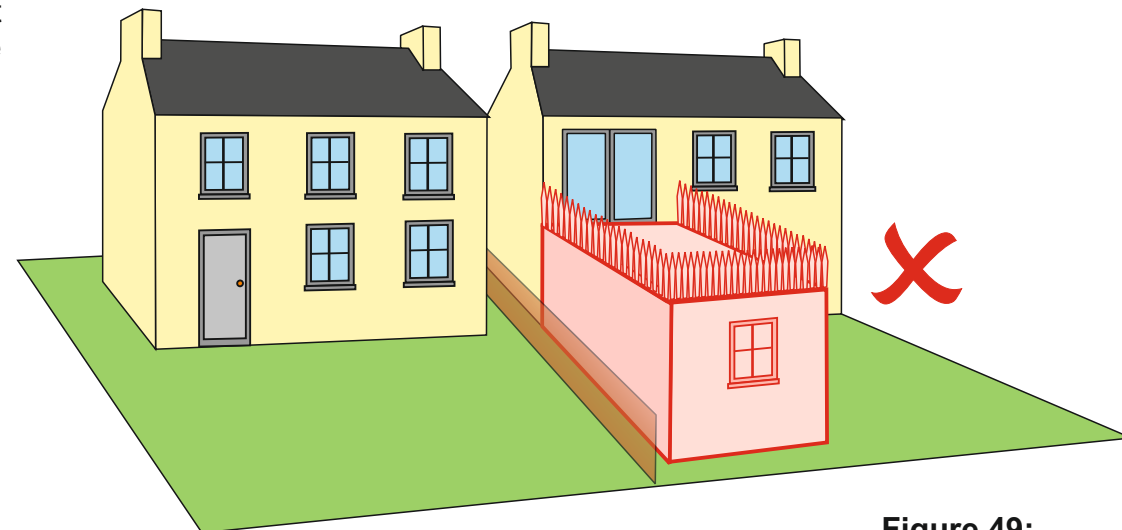
The roof lights are too large and too close to the eaves and verge. There is a variety of sizes, spacing and levels

## 3.4 Raised Decks and Balconies

- 3.4.1 Raised decking can affect privacy. If it is next to the property boundary, decking that is higher than 300mm above ground level can be a source of overlooking even if there is a 2 metre high screen fence. On sloping ground decking can result in a severe loss of privacy in adjoining dwellings.
- 3.4.2 There are circumstances in which decking requires planning permission. It is therefore recommended that any proposal is discussed with the Local Planning Authority prior to construction.
- 3.4.3 Photographs and/or diagrams identifying habitable room windows in adjacent dwellings will help in the determination of the planning applications.
- 3.4.4 Balconies can also affect privacy. If a balcony is proposed it should be located or screened to prevent or minimise overlooking (see Figures 48 and 49).



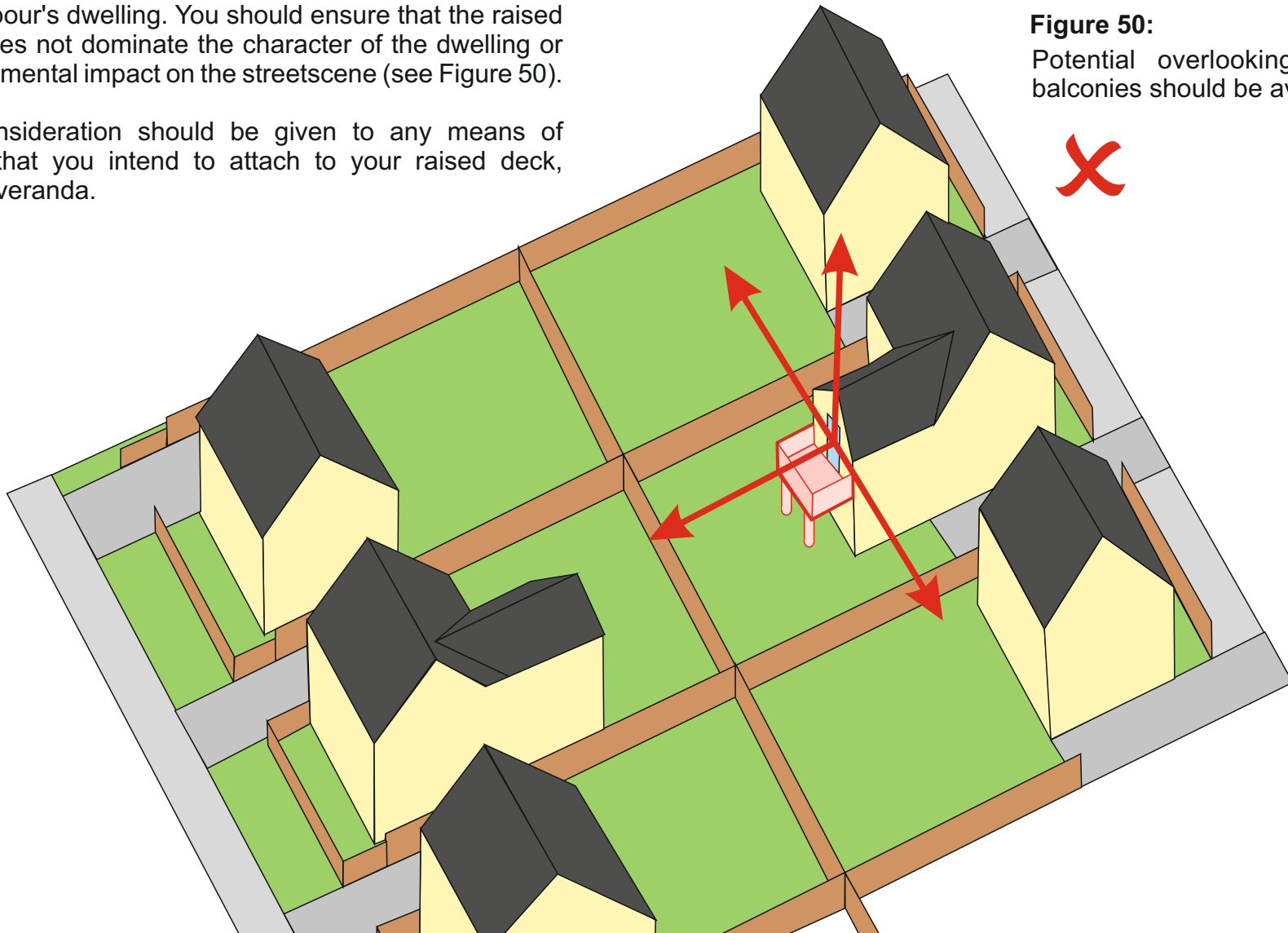
**Figure 48:**  
 Overlooking prevented by physical screen on balcony



**Figure 49:**  
 Overlooking of neighbouring garden and habitable rooms from balcony

- 3.4.5 Balconies, verandas, patios and the alteration of ground levels may require planning permission. Such works should not result in overlooking, overshadowing or overbearing of your neighbour's dwelling. You should ensure that the raised platform does not dominate the character of the dwelling or have a detrimental impact on the streetscene (see Figure 50).
- 3.4.6 Careful consideration should be given to any means of screening that you intend to attach to your raised deck, balcony or veranda.

**Figure 50:**  
Potential overlooking from balconies should be avoided.



## 3.5 Boundary Treatments

### Note 19:

The construction or alteration of a boundary wall, fence or gate should not compromise highway safety and should respect the residential amenity of neighbours and the character of the dwelling and its context.

3.5.1 Boundary treatments such as walls, railings and gates contribute to the quality of the street and provide security. They also help to enclose streets and make them more attractive to pedestrians. Streets can become unattractive if boundary treatments vary or are missing.

3.5.2 Boundary treatments can be a feature of the locality and an attractive addition to the street scene. Consistent frontage treatments contribute to the character of an area and should be retained. New and alterations to boundary treatment often require planning permission.

3.5.3 The key principles to consider are (see Figure 51):-

- Boundary treatments should match the height, type and materials of properties on either side. This is particularly important where they are generally the same along a street or a feature of the locality.
- New boundary treatments should not obstruct views of the dwelling from the street or of the street from the dwelling.

3.5.4 Planning permission is normally needed for the erection or the addition to the height of a boundary enclosure if it is:

- An obstruction to the view of users of any highway used by vehicular traffic such that there is a likely risk of danger to those people;
- Higher than 1 metre after the work, where it is adjacent to a highway (adjacent to a highway includes all walls within 2 metres of any part of a highway, including pavements and highways maintained verges);
- Higher than 2 metres after the work elsewhere;
- Within the curtilage of, or surrounding, a Listed Building or forming a boundary with the curtilage of a Listed Building;
- In an area where the right to erect or alter walls, fences or gates has been removed by Article 4 direction or a condition on a planning permission.

**(All heights are measured from the natural/original ground level on which the means of enclosure is erected).**



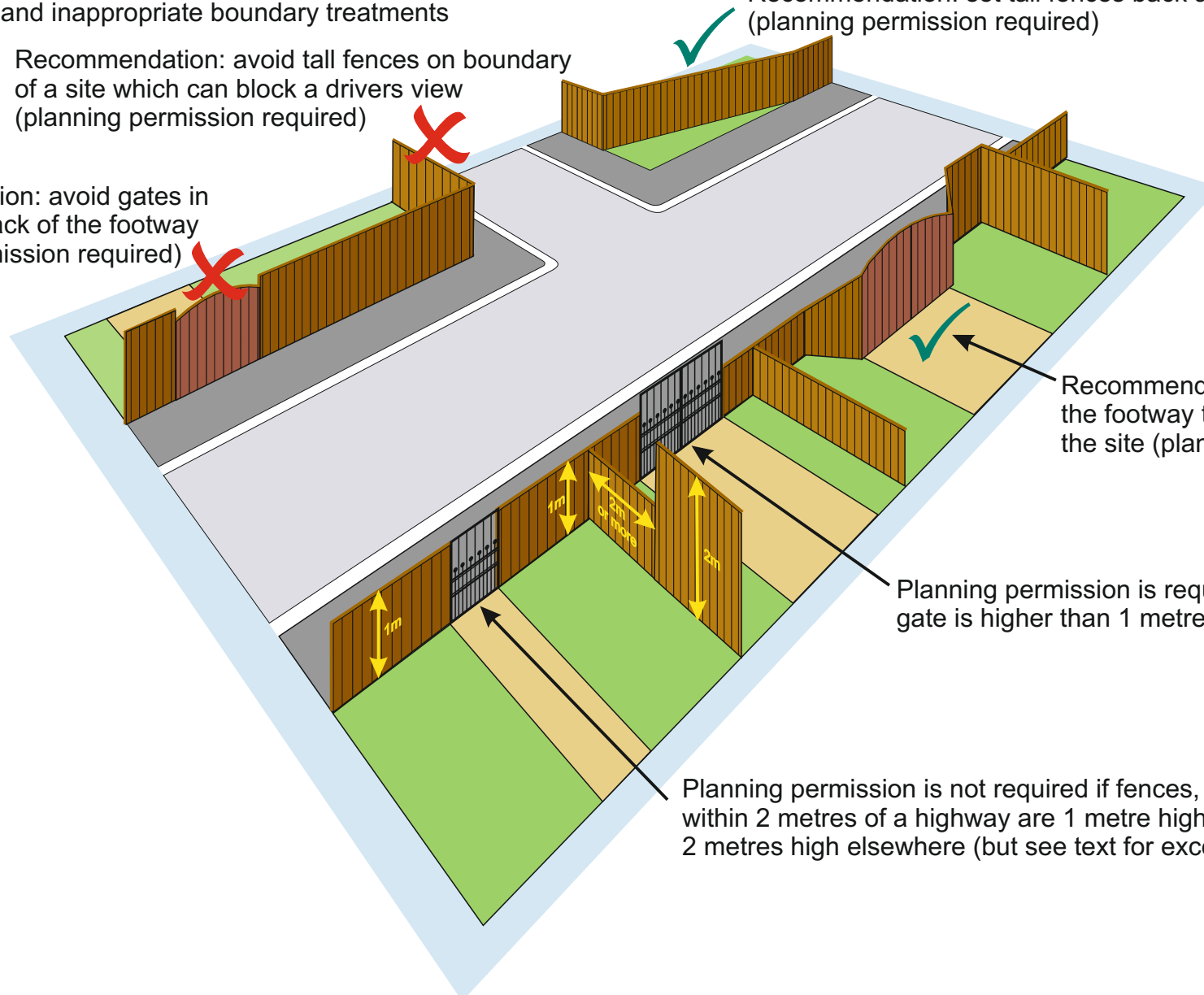
**Figure 51:**

Appropriate and inappropriate boundary treatments

Recommendation: avoid tall fences on boundary of a site which can block a drivers view (planning permission required)

Recommendation: avoid gates in line with the back of the footway (planning permission required)

Recommendation: set tall fences back at road junctions (planning permission required)



Recommendation: set tall gates back from the footway to allow a view for cars leaving the site (planning permission required)

Planning permission is required because the gate is higher than 1 metre

Planning permission is not required if fences, gates or walls (front and side) within 2 metres of a highway are 1 metre high or lower and are no more than 2 metres high elsewhere (but see text for exceptions)

## 3.6 Garages and Outbuildings

3.6.1 As a general rule, the architectural style of your garage or outbuilding should be similar to your dwelling with similar roof details, windows, doors and external materials. It should be designed to ensure that there is no adverse effect on adjacent dwellings.

3.6.2 For garage conversions, it is important to consult with the Local Planning Authority with regards to replacement parking for the potential loss of a car parking space and to ascertain whether planning permission is required.

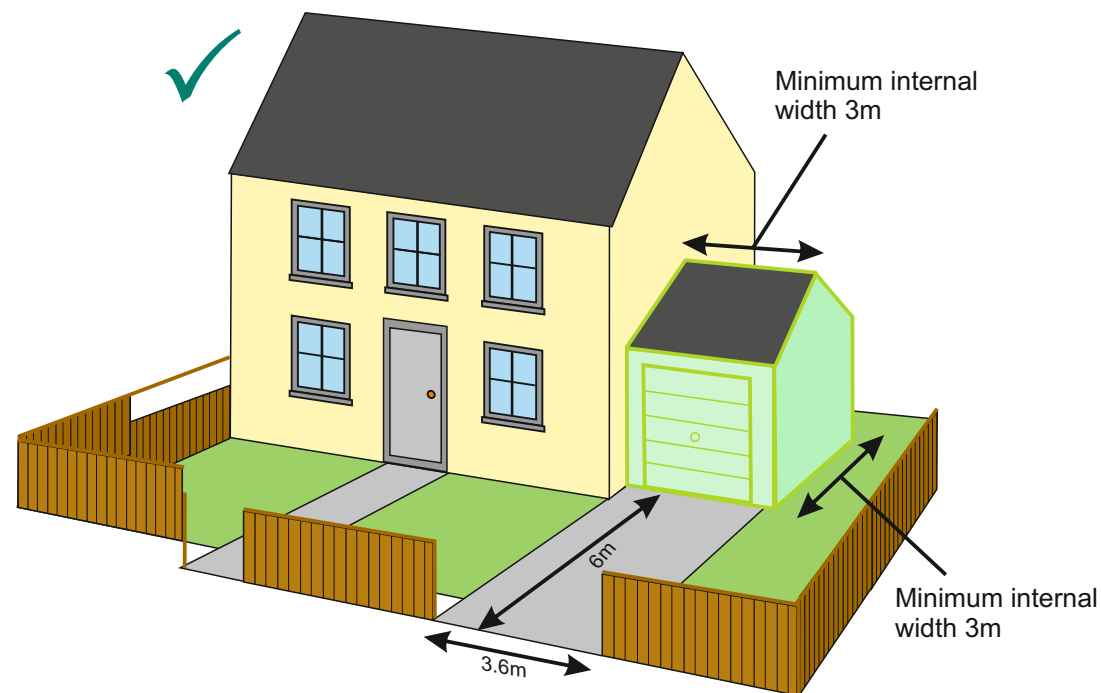
3.6.3 The key principles to deliberate when considering the size, shape and position of your garage or outbuilding are:

- Garages and outbuildings should not detrimentally affect the space about the original dwelling.
- They should not result in the loss of trees or other features important to the character of the area.
- They should be smaller in scale and subservient to the dwelling.
- They should not normally be in front of the dwelling nor should they dominate the existing and surrounding dwellings.
- Any garage one and a half storeys or more in height may over-shadow adjacent dwellings.
- Garage doors should be as narrow as practical, with two single garage doors being preferable to one double door.

- A garage should have a clear internal length of at least 6 metres and have a clear internal width of at least 3 metres (3.8 metre width is recommended to make use by the disabled practical) (see Figure 52).

**Note 20:**

Garages and outbuildings should be sited and designed so as to complement the existing dwelling and to ensure there is no adverse effect on adjacent dwellings.



**Figure 52:**

A garage door should be a minimum of 6 metres back from the front boundary to allow a parked vehicle in front

## 3.7 Providing for Access and Parking

### Note 21:

Off-street parking should be available to meet the Bridgend County Borough Council's guidelines for a dwelling of the size after extension.

3.7.1 A technical approval and licence from the Highways Department of the Council is required if you intend to construct a new crossing to the pavement/verge or if a new dropped kerb is required.

3.7.2 You will also need to apply for planning permission if you want to make a new or wider access for your driveway on to a trunk or other classified road.

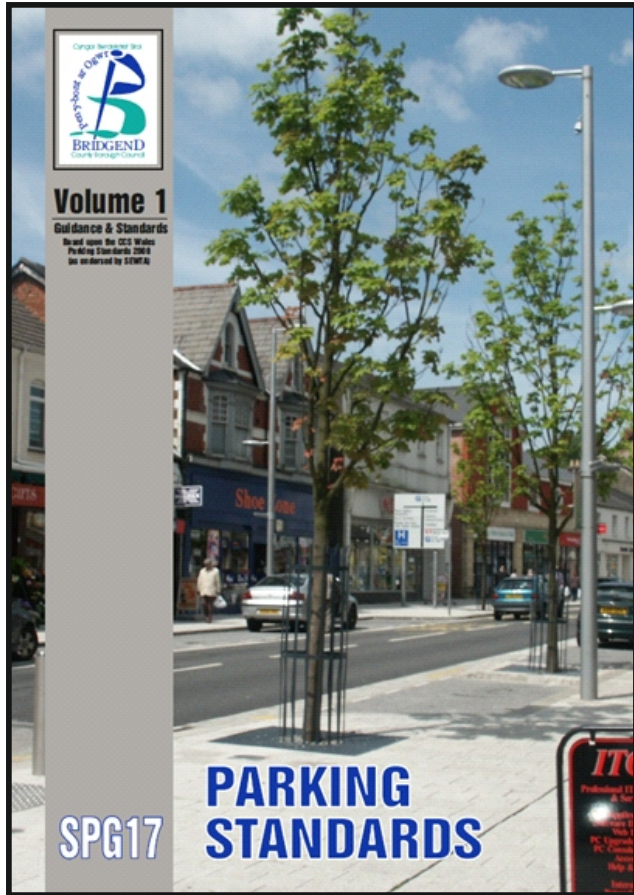
3.7.3 The key principles to consider are as follows:-

- Check with the Council whether your extension requires additional parking spaces. This may be the case if it includes additional bedrooms or removes spaces, i.e. by building over a drive.
- Maintain existing off street parking spaces.
- The access should be safe and the Highways Department will advise on their safety standards and how to meet them.
- Gates will not be allowed where they open out onto the footway or highway.

- A new vehicular access off a main road or a very busy road may require a turning area within your plot so vehicles do not have to reverse in or out.
- Parking spaces should normally measure 2.6 metres wide by 4.8 metres long (or 3.6 metres wide by 4.8 metres long for disabled parking spaces).
- Garages should measure 3 metres by 6 metres (internally) and be free of wall piers or other obstructions, to allow car doors to be opened or larger for disabled access, up to 3.8 metres by 6 metres.
- All hard surfaces should be porous or permeable or connected to a positive drainage system.
- Any new garage required to provide for parking should not have a detrimental impact on the safety of users of the highway.
- Where possible vehicles should be parked where they can be seen to reduce the opportunities for criminals.

# Householder Alterations & Extensions SPG02

3.7.4 For further guidance please see Supplementary Planning Guidance 17 *Parking Standards* Volume 1 and 2.



## 3.8 Planting

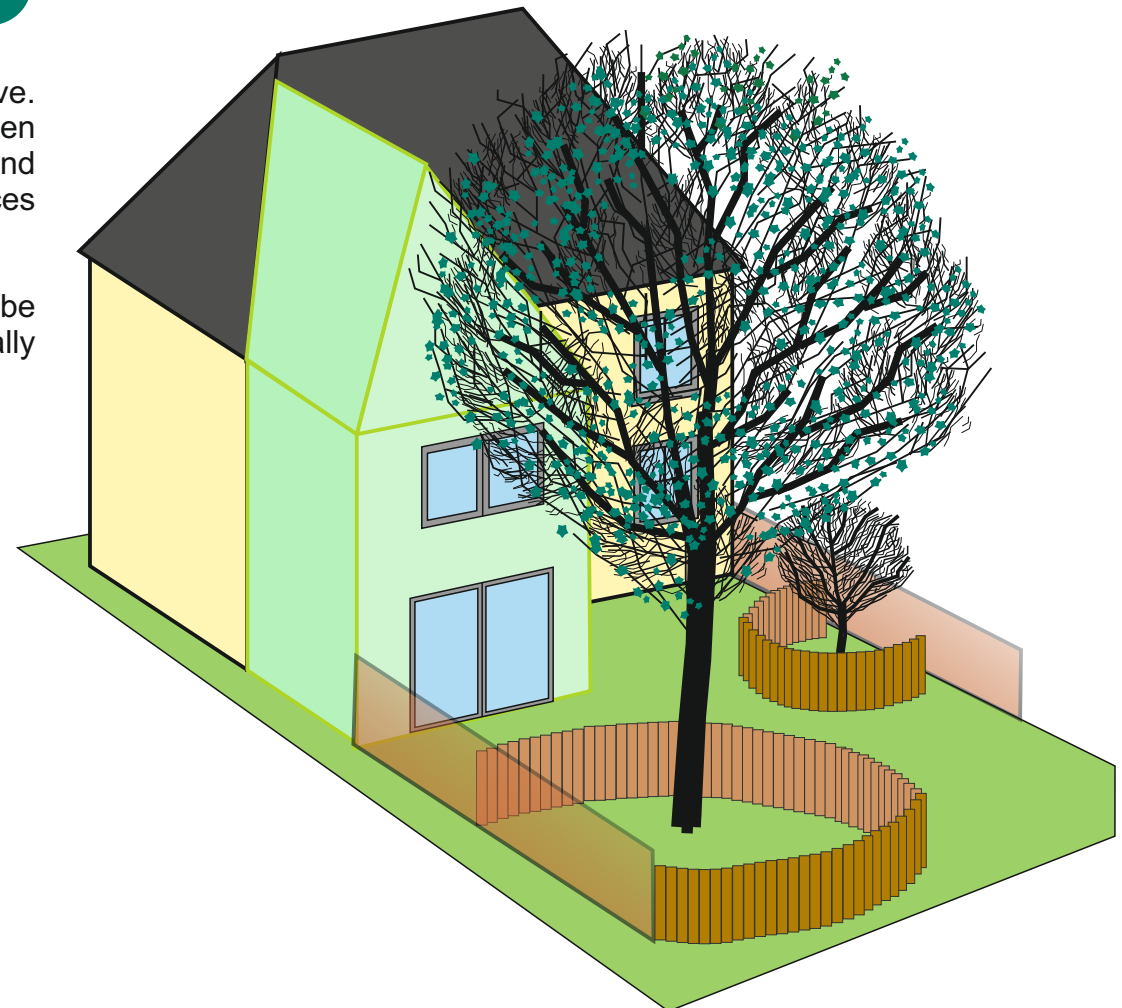
### Note 22:

The construction of an extension should be compatible with the preservation of any environmentally important trees.

- 3.8.1 Existing trees and planting help make areas more attractive. However, it is easy to damage trees and planting when carrying out development either by affecting the soil around the root zone or by cutting roots in the construction of services and foundations.
- 3.8.2 Therefore, the construction of an extension should be compatible with the preservation of any environmentally important trees (see Figure 53).

### Figure 53:

The roots of large trees generally need to be protected within an area that corresponds with the canopy above. Within this zone building materials should not be stored and roots should not be severed.



# Householder Alterations & Extensions SPG02

### 3.8.3 It is important to consider:-

- Building works should not be carried out underneath tree canopies or within a two metre radius of smaller trees with an undeveloped crown.
- Equipment or materials should not be stored underneath tree canopies or within a two metre radius of smaller trees with an undeveloped crown.
- Some trees are protected by law by Tree Preservation Orders (TPOs). It is illegal to carry out work to or remove these trees without permission. If in doubt check with the Local Planning Authority whether any of the trees on your property are protected by TPOs.
- Also, if your property is within a Conservation Area, you should check with the Local Planning Authority before carrying out any work that might affect any trees.

3.8.4 Further guidance can be found in the Bridgend County Borough Council's Supplementary Planning Guidance 07 *Trees and Development* and in the Welsh Government's Technical Advice Note (TAN) 10 *Tree Preservation Orders*.



## 3.9 Resource Efficiency

### Note 23:

Solar panels for water heating or solar electricity generation) should be sympathetic to the existing dwelling in their shape, position, scale and design.

### Note 24:

Wind turbines attached to or within the curtilage of residential property should be subservient to the dwelling and should not adversely affect the amenities of neighbours.

3.9.1 Buildings have an inherent environmental impact and contribute to CO<sup>2</sup> "greenhouse gas" pollution.

3.9.2 Resource efficiency means minimising the energy your house needs for heating, lighting and other energy uses. It also means using materials and construction methods that do not require a lot of energy to either produce or build.

3.9.3 Proposals for alterations and extensions which achieve high levels of resource efficiency are encouraged by your local Council.

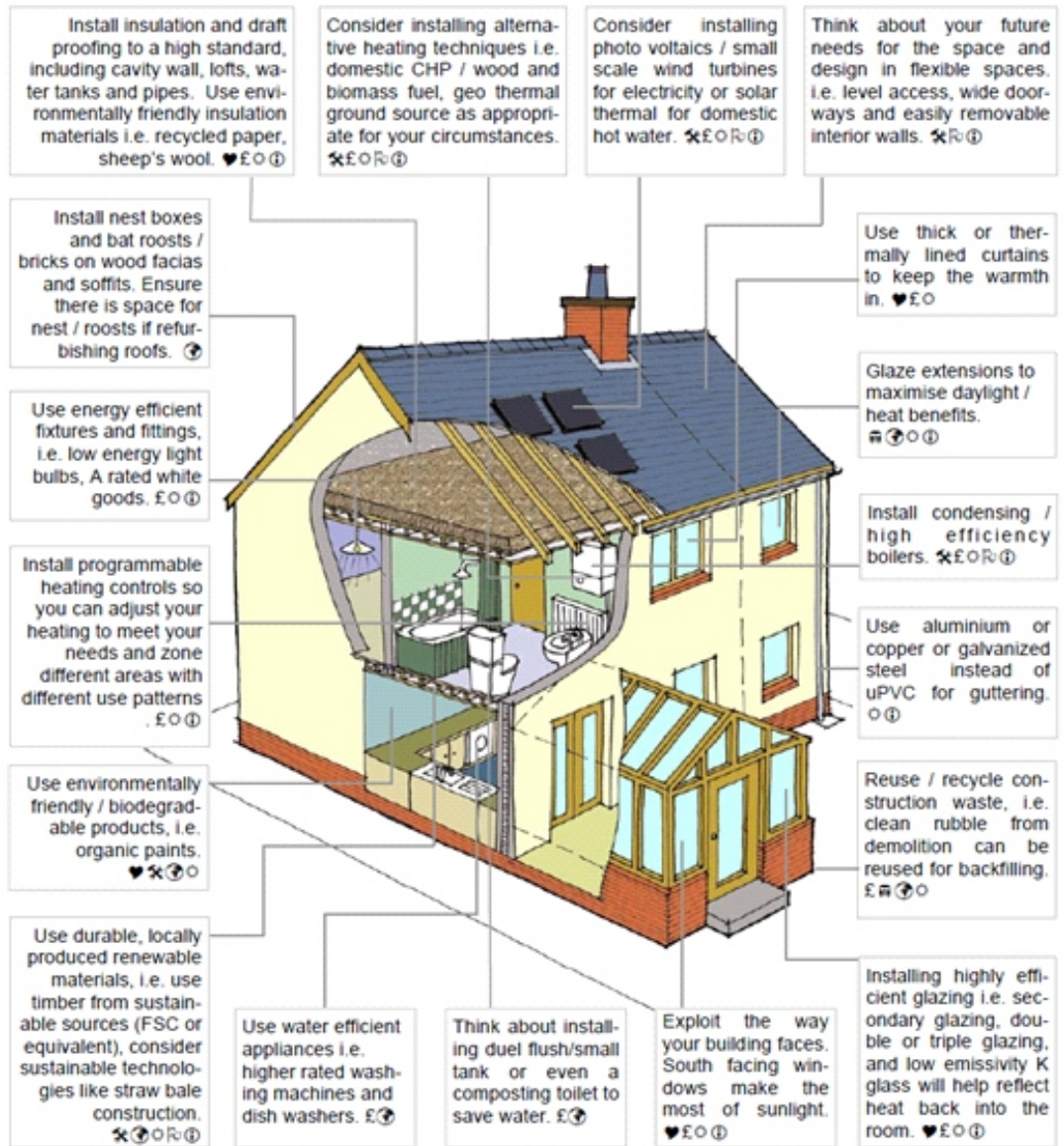
3.9.4 Key principles include:-

- Wherever possible use materials that are produced locally and which come from a source that can be renewed without harm to the environment. High quality reclaimed materials can save resources and may also provide a better match with the existing building.

- You can save energy and heat your dwellings by making the most of heat from the sun if your extension faces south east to south west. Generally windows on the south side of the building should be larger than those on the north side.
- Arrange the internal layout of the extension so that the main habitable rooms are on the southerly side of the building (where this does not cause overlooking problems).
- Look for timber which is certified as coming from sustainable sources; in designing your alteration or extension consider whether there are opportunities to build-in features to produce energy. This may include solar panels or domestic wind turbines. Solar water heating panels can provide 50% of your hot water requirements, while photovoltaic panels and wind turbines can produce some of your electricity. Whilst energy saving features are encouraged, if poorly located, they can detract from the character of your dwelling or neighbourhood, especially if the building is listed or within a sensitive area such as a Conservation Area. If you are planning to incorporate any of these features you should check whether they need planning permission.
- In Summer, you can avoid the need for cooling or air conditioning by ensuring that south facing windows are shaded, e.g. by roof overhangs, trees or reflective blinds.
- Although conservatories can provide an additional light room, in the Winter months they can be very expensive to heat and can waste energy. Conservatories should be separated from the main house by an insulated wall and closable doors and windows so that you can avoid having to heat it when it is cold.

# Householder Alterations & Extensions SPG02

- If your proposals involve demolition, re-use as much of the demolition waste as possible on-site.
- Provide house entrances away from prevailing winds and protect with a porch or lobby.
- In very heavy rain, water run-off from hard surfacing can overwhelm drains and cause flooding and pollution. You can avoid this by using a "green" roof, which has turf or plants sitting on a waterproof membrane and a low pitch of less than 15 degrees. Permeable paving surfaces, such as blocks or bricks set in the ground, allow rain water to drain away gradually. Rainwater butts can provide a useful source of water for garden watering or car washing in drier periods.



**Key**

♥ Health benefits	♻ Reduced travel	℞ Selling point of property
✂ Reduced maintenance costs	♻ Improved wildlife/environment	ⓘ May need planning permission or building control; seek advice from the Council
£ Reduced utility bills	○ Reduced greenhouse gases	



## 3.10 Crime Prevention

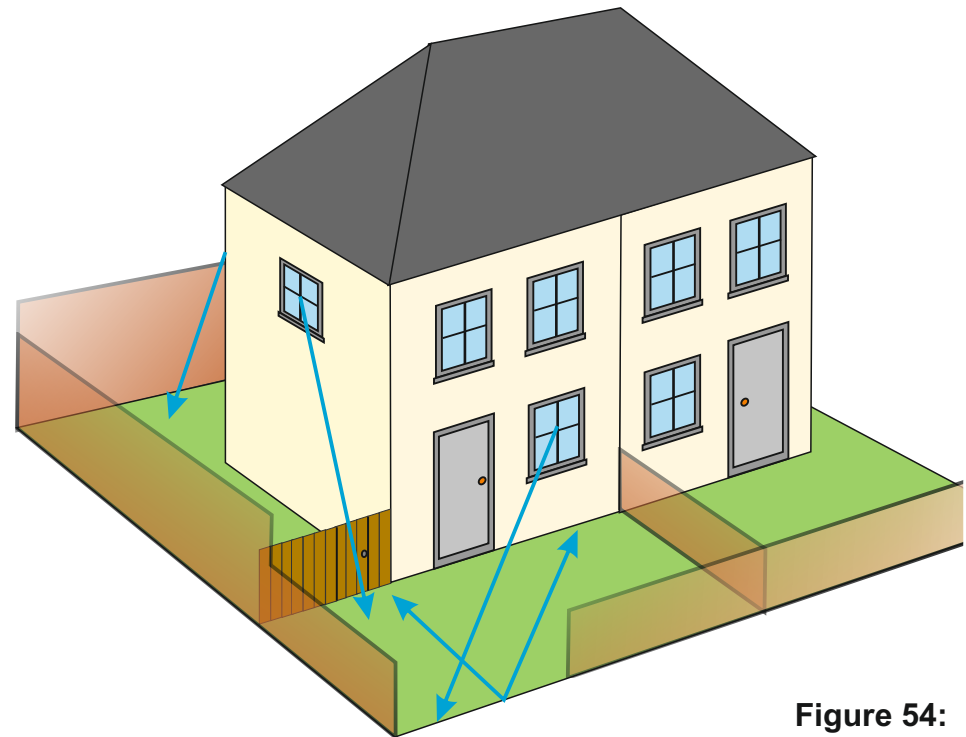
3.10.1 An important aspect of the residential amenity of the occupier of a dwelling is the sense of security that comes from crime prevention measures.

3.10.2 Bridgend County Borough Council is obliged to encourage design that reduces crime by Section 17 of the Crime and Disorder Act.

3.10.3 Householders are encouraged to consider crime prevention when undertaking work to their dwellings (see Figure 54). The following simple and often inexpensive measures can reduce the chance of becoming a victim of crime:

- Good surveillance discourages burglary or theft. There should be good vision from the house on to the street, the driveway and the gardens. Careful positioning of windows can help achieve such surveillance.
- If possible the parking area should be overlooked from the house.
- There should be a good view of the dwelling from the street with a low boundary at the front to allow a clear view of the front door.
- The rear garden, however, should have a wall or fence at least 1.8 metres high with lockable side entrances.
- Dusk to dawn automatic lighting surround the dwelling will deter burglars, however care needs to be taken to ensure that light pollution of neighbouring dwelling is avoided.

- Doors and windows should be securely fitted with locks that meet British Security Standards (BS3621 for locks, BS7950 for windows and PAS24-1 for doors).
- Consideration should be given to the fitment of a good quality burglar alarm, which is a proven deterrent.



**Figure 54:**  
Key security considerations:  
*reducing visibility of rear garden  
from street; surveillance of drive and  
street; clear views to street frontage;  
secure rear fence*

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## 4 CONCLUSION

### 4.1 Concluding Remarks

- 4.1.1 The Local Planning Authority endeavours to achieve a high quality of design for householder developments across the County Borough. This document is intended to help homeowners, their agents and Planning Officers in developing and assessing proposals.
- 4.1.2 National Planning Policy and guidance requires that all new development including householder development, is well designed and is appropriately resilient.
- 4.1.3 This document aims to set standards that will make a positive contribution towards the appearance of the County Borough whilst ensuring residential amenity is protected.



## 5 APPENDICES

### 5.1 Submitting your application

5.1.1 The Local Planning Authority has standard requirements for submitting a planning application. It is important to check which drawings, plans and illustrations are required. It is recommended that a planning application is accompanied by a written statement, which summarises how you have responded to the guidance in this document.

### 5.2 Types of permission which may be required

5.2.1 There are different types of permission that may also be required when submitting a planning application:

5.2.2 Listed Buildings: If your property has a special historic or architectural character it could be listed, which would give it special statutory protection under Planning laws. If your property is listed then you must seek Listed Building Consent before commencing any works - including alterations and extensions - that could affect the character of the building both externally and internally.

5.2.3 Conservation Areas: If your property is within a Conservation Area then your permitted development rights might be restricted. In particular, in Conservation Areas even small alterations may require planning permission. Trees in Conservation Areas are protected, so you must notify the Local Planning Authority if you wish to fell or lop trees in Conservation Areas. Certain demolition works also require Conservation Area Consent and you should contact the Local Planning Authority if you intend to carry out such work.

5.2.4 Tree Preservation Orders: Trees which are important to the area are protected by Tree Preservation Orders (TPO). If your works affect a tree which has a TPO, you require special permission from the Local Planning Authority. Works to trees protected by a TPO require formal consent prior to undertaking any works.

5.2.5 Protected Species: Natural Resources Wales (NRW) must be notified of any proposed action which is likely to affect bats or their roosts. Also, all birds are protected whilst they nest and should not be disturbed during this period.

5.2.6 All works must comply with Building Regulations. The Building Control Service and independent Approved Inspectors can provide advice.



Development Control Rhondda Cynon Taf  
The Planning Department  
The Council Offices  
The Council Offices  
The Council Offices  
The Council Offices

Householder Application for Planning Permission for works or extension to a dwelling  
Town and Country Planning Act 1990  
This can complete and submit this form electronically via the Planning Portal by using  
www.planningportal.co.uk  
Please note that the information provided on this application form, and its supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's Planning Department.

Please complete using black ink and back ink.  
It is important that you read the accompanying guidance notes as incorrect completion will delay the processing of your application.

**A. Applicant Name and Address**

Title  First name   
Last name   
Address   
Address 1   
Address 2   
Address 3   
Town   
County   
Country   
Postcode

**B. Agent Name and Address**

Title  First name   
Last name   
Address   
Address 1   
Address 2   
Address 3   
Town   
County   
Country   
Postcode

**C. Description of Proposed Works**

Please describe the proposed works.

## 5.3 Requirements for submitting a planning application

5.3.1 Once you know what applications to make and what permissions you need, you can apply for planning permission. You can apply online via Planning Portal:- the online process guides you through applications and provides help at each stage or, alternatively, you can complete and submit a paper version of the application form.

5.3.2 When submitting an application the following supporting information is required:

- **The standard application form;**
- **An ownership certificate;**  
Certificate A if you are the owner of the dwelling, Certificate B if you are not the owner or are part-owner of the dwelling;
- **Agricultural Holdings Certificate;**  
This is required whether or not the site includes an agricultural holding. All agricultural tenants must be notified prior to the submission of the application;
- **Design and Access Statement/Planning Statement (Optional):** Outlining the design principles and concepts that have been applied to the proposed development and how issues relating to access to the development have been dealt with;
- **Correct application fee;**  
You can calculate the fee for your application by using the Planning Portal's fee calculator.

- **Plans and drawings as listed below:-**

- Location plan;
- Details of existing site layout - block plan;
- Details of proposed site layout;
- Floor plans;
- Elevations;
- Cross sections;
- Other supporting information.

- **Location plan:**

- Scale 1:1250 preferably and no smaller than 1:2500;
- Include the North point;
- Outline the application site with a red line and indicate any adjoining land owned or land controlled by the applicant with a blue line;
- Show the application property in relation to all adjoining properties and the immediate surrounding area, including roads;
- Show vehicular access to a highway if the site does not adjoin a highway.

- **Details of existing site layout - block plan:**

- Scale, typically 1:500 or appropriate scale to ascertain required level of detail;
- Include the North point, date and number on plans;
- Show the whole property, including all buildings, gardens, open spaces and car parking;
- Indicate all boundaries and the position of nearest buildings.

- **Details of proposed site layout:**

- Scale, typically 1:200;
- Include the North point, date and number on plans;
- Show the siting of any new building or extension, vehicular/pedestrian access, changes in levels, landscape proposals, including trees to be removed, new planting, new or altered boundary walls and fences and new hard-surfaced open spaces;
- Show proposals in the context of adjacent buildings.

- **Floor plans:**

- Scale 1:50 or 1:100;
- In the case of an extension, show the floor layout of the existing building to indicate the relationship between the two, clearly indicating new work;
- Show floor plans in the context of adjacent buildings, where appropriate;
- In the case of minor applications it may be appropriate to combine the layout and floor plan (unless any demolition is involved);
- Include a roof plan where necessary to show a complex roof or alteration to one.

- **Elevations:**

- Scale 1:50 or 1:100 (consistent with floor plans);
- Show every elevation of a new building or extension;
- For an extension or alteration, clearly distinguish existing and proposed elevations;
- Include details of material and external appearance;
- Show elevations in the context of adjacent buildings, where appropriate.

- **Cross sections:**

- Scale 1:50, 1:100 (consistent with floor plans), where appropriate.

- **Other supporting information:**

- Bat survey (if required);
- Tree survey (if required);
- Structural calculations (if required).

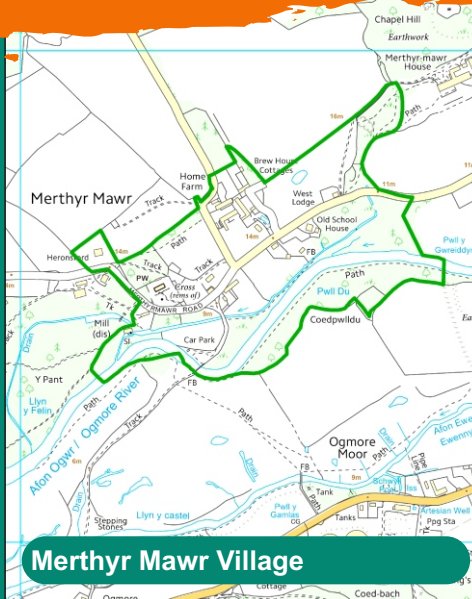
# Householder Alterations & Extensions SPG02

## Conservation Areas within Bridgend County Borough

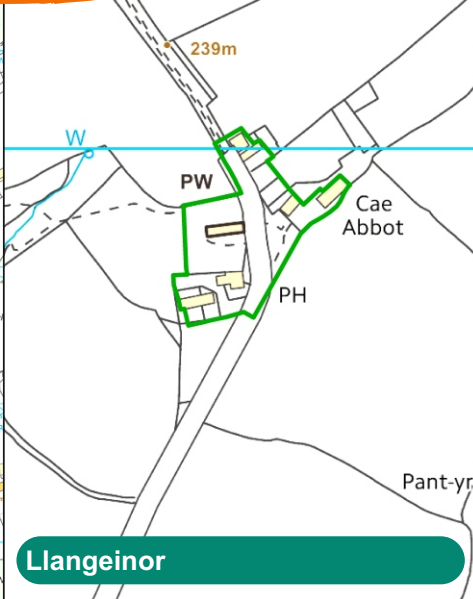
This list of Conservation Areas is subject to change, please contact Conservation & Design to find out any amendments to the list:

Tel : 01656 643164  
 Email: Conservation&Design@bridgend.gov.uk

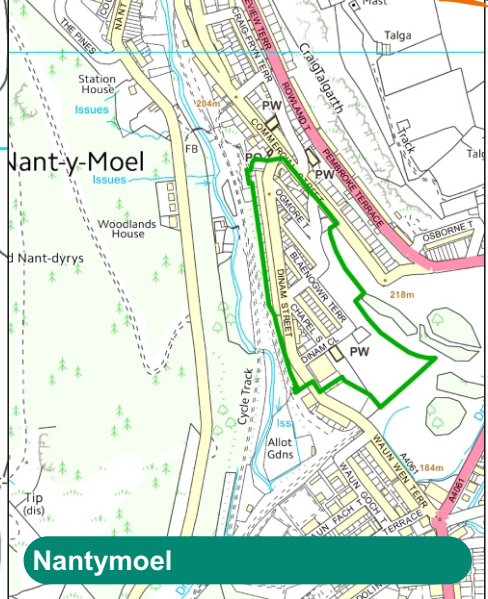
© Crown copyright. Bridgend County Borough Council. 100023405(2017)



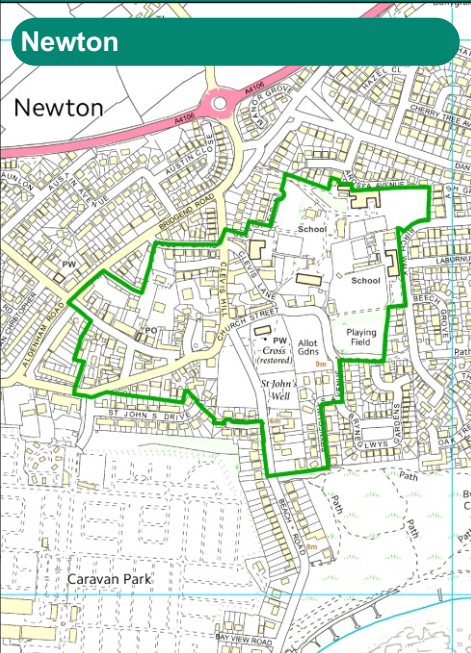
**Merthyr Mawr Village**



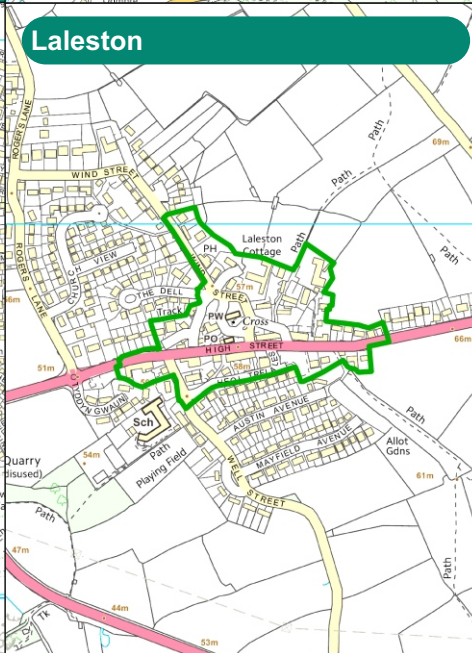
**Llangeinor**



**Nantymoel**



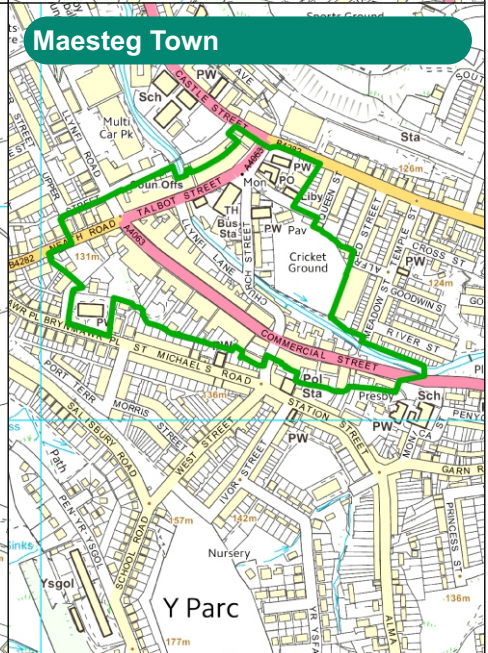
**Newton**



**Laleston**



**Tythegston**

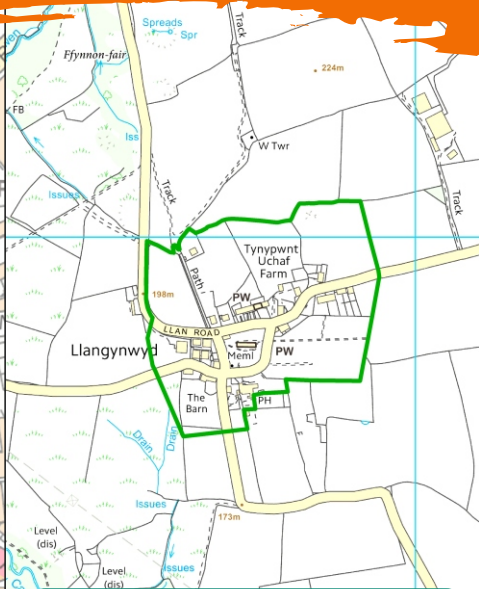


**Maesteg Town**

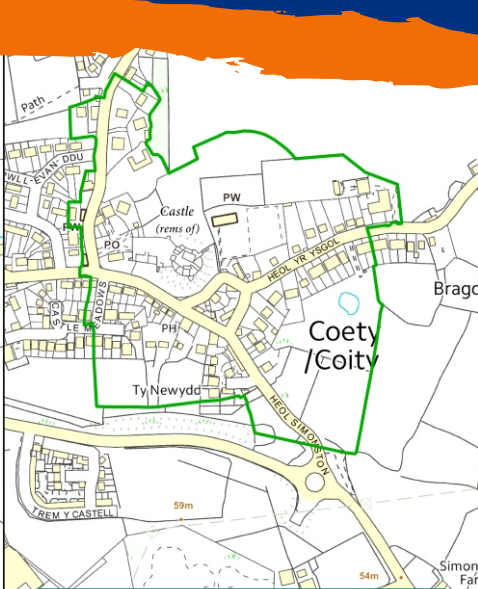
# Householder Alterations & Extensions SPG02



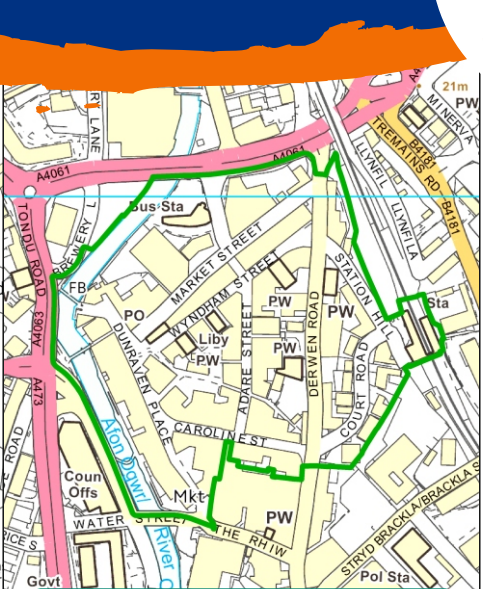
Merthyr Mawr Road, Bridgend



Llangynwyd



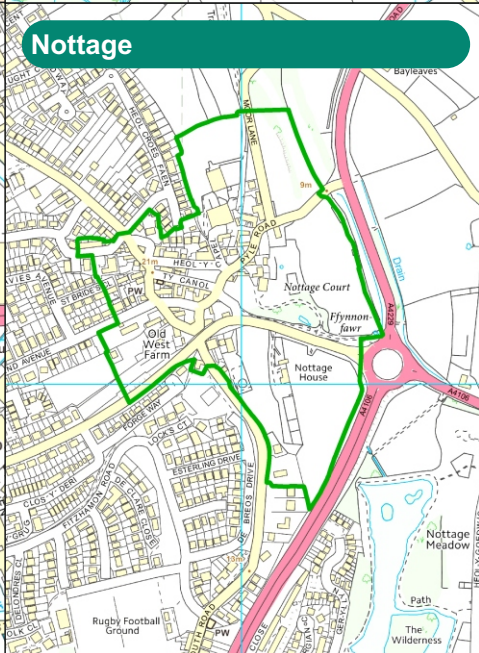
Coity



Bridgend Town



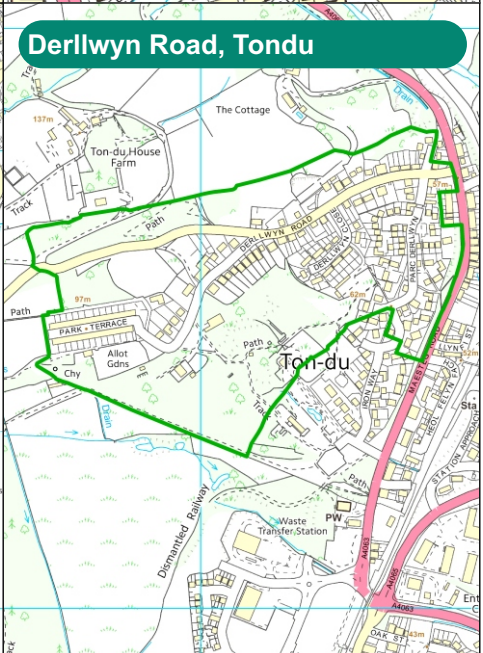
Newcastle Hill, Bridgend



Nottage



Porthcawl



Derllwyn Road, Tondy

## 5.5 Glossary

### **Amenity Space:**

Areas of space surrounding your property including gardens, decked areas and balconies.

### **Building Line:**

The line created by the frontages of buildings in a street - terraced houses have a very strong building line.

### **Daylight Protection Zone:**

Area protected from intrusion by development.

### **Curtilage:**

The land surrounding and belonging to a house.

### **Dwelling:**

A term used to describe a house, bungalow or flat.

### **Eaves:**

The lowest edge of the roof that projects over the top of a wall.

### **Elevation:**

A term used to describe the external walls of a house.

### **Gable:**

A wall, usually with a triangular section found at the ends of a pitched roof.

### **Habitable Room:**

A habitable room is a room which is used mainly as a living room, dining room or bedroom and as a kitchen when it is big enough to be considered as a dining/kitchen. A dining space which is separated from the kitchen or living area by a movable partition would also be considered as a habitable room.

### **Listed Building:**

A building of special architectural or historic interest. Listed Buildings are Grade 1, 2\* or 2 with Grade 1 being the highest. Cadw is responsible for designating buildings for listing in Wales.

### **Party Wall:**

A wall or fence that straddles the boundary between two or more properties or stands entirely on land in one ownership but used to separate two buildings in separate ownership/occupation.

### **Ridge or Ridgeline:**

Generally the highest part of a roof where the slopes meet.

### **Storey:**

A term used to describe a level or floor in a building.

### **Subordinate:**

A complementary extension that is clearly secondary to the original structure in terms of its scale and size.





## 5.5 Further Reading

Bridgend County Borough Council - <http://www.bridgenders.net>

Planning Portal - <http://www.planningportal.co.uk>

Welsh Government. 2016. *Planning Policy Wales* (9th Edition).

Welsh Government. 2016. *Technical Advice Note (TAN) 12: Design*.

Welsh Government. 2005. *Technical Advice Note (TAN) 8: Renewable Energy*.

Welsh Government. 2014. *A Householder's Planning Guide To The Installation Of Antennas, Including Satellite Dishes*.

Welsh Government. 2014. *Householder Permitted Development Rights*.

Welsh Government. 2013. *External Solid Wall Insulation: A Planning Guide For Householders*.

Welsh Government. 2013. *Protected Trees - A Guide To Tree Preservation Procedures*.

Welsh Government. 2008. *Improving Your Home - A Climate Change Guide*.

## More detailed reading:

BRE - <http://www.bre.co.uk/>

BREEAM - <http://www.breeam.com/>

Centre for Accessible Environments [www.cae.org.uk](http://www.cae.org.uk)

Crime and Disorder Act 1998, Section 17.

DETR 2000, By Design.

Disability Rights Commission - <http://www.drc.org.uk>

Welsh Office Circular 16/94, "Planning Out Crime"



## 5.6 Contacts

### Association of Building Engineers

The Association of Building Engineers is the professional body for those specialising in the technology of building:  
**[www.abe.org.uk](http://www.abe.org.uk)**

### Building for Life

Building for Life brings together the best designers and creative thinkers to champion quality design of new homes:  
**[www.buildingthelife.org](http://www.buildingthelife.org)**

### Cadw

Cadw is the historic environment agency within the Welsh Government with responsibility for protecting, conserving and promoting an appreciation of the historic environment of Wales:  
**[www.cadw.wales.gov.uk](http://www.cadw.wales.gov.uk)**

Plas Carew, Unit 5/7, Cefn Coed, Parc Nantgarw, Cardiff,  
CF15 7QQ.

Tel: 01443 33 6000, Fax: 01443 33 6001

### Chartered Institute of Architectural Technologists (CIAT)

397 City Road, London, EC1V 1NH.

Tel: 020 7278 2206, Fax: 020 7837 3194,

Email: [info@ciat.org.uk](mailto:info@ciat.org.uk)

### Civic Trust Wales/Ymddiriedolaeth Ddinesig Cymru

Promotes civic pride as a means to improving the quality of life for all in the places where they live and work:

**[www.civictrustwales.org](http://www.civictrustwales.org)**

3rd Floor Empire House, Mount Stuart Square, Cardiff,  
CF10 5FN.

Tel: 02920 484606

### Design Commission for Wales

The Design Commission for Wales's mission is to champion high standards of architecture, landscape and urban design in Wales, promoting wider understanding of the importance of good quality in the built environment, supporting skill building, encouraging social inclusion and sustainable development:

**[www.dcfw.org](http://www.dcfw.org)**

DCfW, 4th Floor, Building Two, Caspian Point, Caspian Way,  
Cardiff Bay, CF10 4DQ.

### Energy Savings Trust

A non-profit organisation, funded by government and the private sector. Set up after the 1992 Rio Earth Summit, the organisation has aims to achieve the sustainable use of energy and cut carbon dioxide emissions:

**[www.energysavingtrust.org.uk](http://www.energysavingtrust.org.uk)**

Energy Saving Trust Wales, Wales Albion House, Oxford  
Street, Nantgarw, Cardiff, CF15 7TR

Tel: 01443 845930

### Energy Efficiency Information For Homeowners

Tel: 0845 727 7200

### Natural Resources Wales

Natural Resources Wales is the Government's statutory advisor on sustaining natural beauty, wildlife and the opportunity for outdoor enjoyment in Wales and shore waters:

**[www.naturalresources.wales](http://www.naturalresources.wales)**

Natural Resources Wales, c/o Customer Care Centre, Ty  
Cambria, 29 Newport Road, Cardiff, CF24 0TP.

Tel: 0300 065 3000

## Planning Portal

Government gateway to planning information throughout the UK. It provides information on plans, appeals, applications, contact details, research areas:

[www.planningportal.gov.uk/](http://www.planningportal.gov.uk/)

## The Royal Society of Architects in Wales (RSAW)

RSAW is constituted as the regional organisation of the Royal Institute of British Architects (RIBA) in Wales:

[www.architecture.com](http://www.architecture.com)

Bute Building, King Edward VII Avenue, Cathays Park,  
Cardiff, CF10 3NB.

Tel: 029 2087 4753

## Royal Institute of Chartered Surveyors (RICS)

Royal Institute of Chartered Surveyors:

[www.rics.org/Wales](http://www.rics.org/Wales)

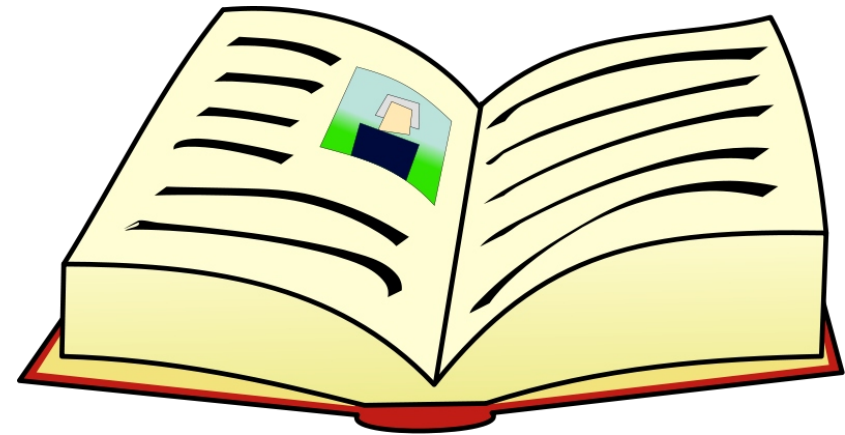
Tel: 0870 333 1600 Email: [contactrics@rics.org.uk](mailto:contactrics@rics.org.uk)

## The Royal Town Planning Institute (RTPI)

The Royal Town Planning Institute, 41 Botolph Lane,  
London, EC3R 8DL.

[www.rtpi.org.uk](http://www.rtpi.org.uk)

Tel: 029 7929 9494



# Householder Alterations & Extensions

Supplementary Planning Guidance

A  
Design Guide  
for  
Householder  
Development



**SPG02**

Development Planning - Bridgend County Borough Council

Tel: 01656 643643

[planning@bridgend.gov.uk](mailto:planning@bridgend.gov.uk)

[www.bridgend.gov.uk/](http://www.bridgend.gov.uk/)

Bridgend County Borough Council,  
Development Group,  
Communities Directorate,  
Civic Offices, Angel Street,  
Bridgend,  
CF31 4WB.